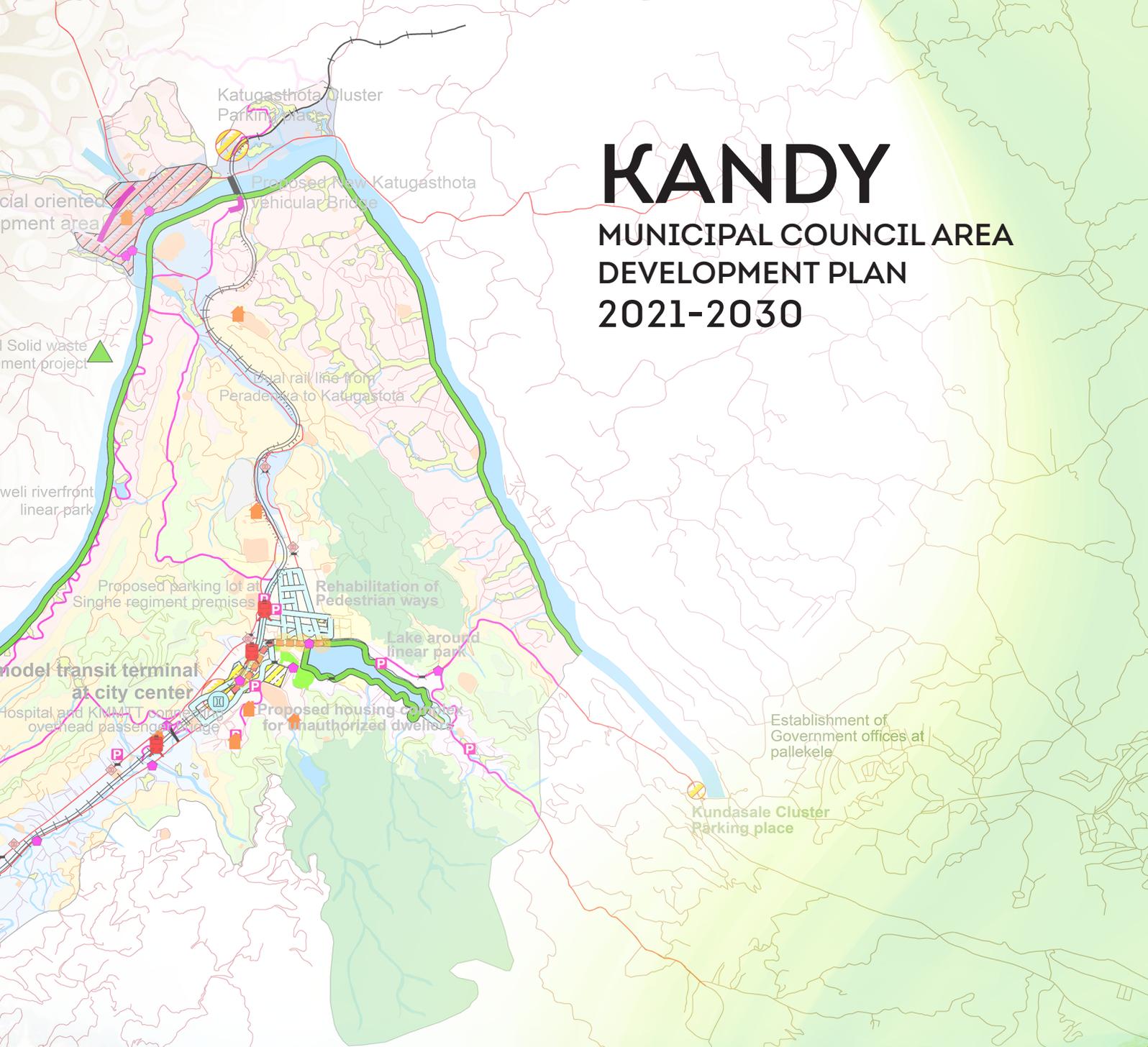


# KANDY

## MUNICIPAL COUNCIL AREA DEVELOPMENT PLAN 2021-2030



Urban Development Authority  
Ministry of Urban Development & Housing



# KANDY

MUNICIPAL COUNCIL AREA  
DEVELOPMENT PLAN  
2021-2030



Ministry of Urban Development & Housing  
Urban Development Authority

## **Kandy Municipal Council Area Development Plan 2021-2030**

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Kandy Municipal Council Area Development Plan 2021 – 2030 mainly consists of three parts as Part I, II and III. The Part I consists of the background study, preliminary studies, the need of the plan, the planning framework, the SWOT analysis and the plan. The Part II consists of the Planning and Building Regulations and Zoning Regulations pertaining to the planning boundary for the period of 2021 – 2030. The part III consist of the zoning boundaries with the coordinates and all the annexures.

Kandy Municipal Council Area Development Plan 2021 – 2030 has been prepared by the Central Provincial office of Urban Development Authority.

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Environment and Landscape Division – UDA

GIS Division – UDA

Research and Development Division – UDA

## ACKNOWLEDGEMENT

The Central Provincial office has taken the lead to provide the supervision for the preparation of the Kandy Municipal Council Area Development Plan 2021 – 2030.

The objective of this plan is to accomplish The vision of the Kandy Municipal Council Area Development Plan 2021 – 2030 is in line with the ‘Vistas of Prosperity and splendor’ the government policy direction of the His Excellency the President Gotabaya Rajapaksa.

It is our proud privilege to Honorable Mahinda Rajapaksa subject Minister of Urban Development & Housing for approving the Kandy Municipal Council Area Development Plan 2021 – 2030 under the provision of Urban Development Authority Act No. 41 of 1978 as amended by the Act No. 04 of 1982. Further, it is our privilege to Dr. Nalaka Godahewa, State Minister of Urban Development, Coast Conservation, Waste Disposal and Community Cleanliness and Mr. Sirinimal Perera, Secretary to Ministry of Urban Development & Housing for their guidance and supports in this process.

Special gratitude offered on behalf of the planning team and the UDA, to the Mayor, Kandy Municipal Council, members of the MC and the staff. Secretary, Gangawata Korale Divisional Secretariat and the staff for their generous support given for the successful completion of this development plan.

Also, special appreciation on behalf of the UDA offered to former Chairman of UDA, Dr. Jagath Munasinghe for initiating the process of this plan by introducing many new innovative planning techniques and applications and for continuous supervision and encouragement given throughout the process and former Director General of UDA Eng. S.S.P. Rathnayake for his encouragement. And also special appreciation on behalf of the UDA offered to the Japan International Cooperation Agency for their support on preparation of this plan through the Greater Kandy Urban Plan (GKUP) project.

Appreciatively thankful to Chairman of UDA Archt. Harshan De Silva, Director General of UDA Plnr. N.P.K. Ranaweera, Additional Director General of UDA Plnr. H.A. Dayananda, Deputy Director General (Planning) of UDA Plnr. M.P.Ranatunga, Director Central Province of UDA Y.A.G.K. Gunathilake Consultant (Legal) of UDA Attorney at Law C. Jayawardena, Director (Strategic Planning) of UDA Plnr. Priyani Nawarathne on behalf of the planning team for their incomparable courage, guidance and welcoming support.

In the end, Director – Environment & Landscape division L.Arct. C.K.E. Kalupahana and the staff of the division and Director - Geographical Information System & ITS Plnr. J.P.S. Somasekara and the staff of the division, Strategic Planning Division – UDA, Research and Development Division – UDA staff members of all divisions are gratefully appreciate on behalf of the planning team for their support to the successful completion of this task.

## HONORABLE MINISTER'S FOREWORD



The Urban Development Authority was established under the Urban Development Authority Act No. 41 of 1978, for the systematic planned urban development in the declared urban areas and continue to actively contribute towards it.

Steps have been taken to formulate comprehensive development plans for each urban development area, based on the efficient and effective use of physical space so that all areas of Sri Lanka make an equal contribution to the development process of the country.

The Kandy Municipal Council Area provide services to a large population. Accordingly, Kandy Municipal Council Planning Area has the potential to become a town that continues to provide residential and commercial services. This potential is further enhanced by the natural ecosystem of the surrounding area and the locations of archeological sites of value. These development plans aim to develop the Kandy town by utilizing the potential of the area.

For the realization of His Excellency the president's vision "Vistas of Prosperity" the new Re-urbanization Programme has been formulated in wide consultation with Professionals, Specialists, Stakeholders & communities with strategies having an excellent technological methodology and innovative approach.

Accordingly, I commend the Chairman of the Urban Development Authority, the Director General, the planning teams and all the officers of the Urban Development Authority who assisted in making this work a success. Further, I also appreciate and believe through the support and contribution of the relevant Local Government Institutions, Public and Private Sector Institutions and the general public, Kandy Municipal Council Area Development plan would be successfully implemented.

Hon. Mahinda Rajapaksa (M. P)

Minister of Urban Development & Housing

## HONORABLE STATE MINISTER'S FOREWORD



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Dr. Nalaka Godahewa (M.P)

State Minister of Urban Development, Coast Conservation,  
Waste Disposal and Community Cleanliness

## HONORABLE CHAIRMAN'S FOREWORD



Throughout the last four decades, Urban Development Authority has been serving as the apex planning authority in Sri Lanka having the statutory powers to prepare and enforce urban development plans.

Urban Development Plans cover a number of fields including optimum, effective and efficient use of land and managing the quality of its environment. These development plans are prepared for the promotion and regulation of public well-being in urban areas and the people.

According to the present government's manifesto, it is compulsory to prepare development plans for areas which have been declared as urban development areas by the subject minister as per section 8 A (1) under part II of Urban Development Authority Act No. 04 of 1982 (Amendment).

The Development Plan for Kandy Municipal Council area has been prepared for the period 2021 – 2030 considering the physical, economic, social and environmental factors, while successfully overcoming the challenges in preparing the development plan through tools and methodologies with which the Urban Development Authority is equipped.

Therefore, I extend my heartfelt gratitude to the planning teams who dedicatedly worked for ensuring successful completion of this plan and to those who contributed in numerous ways. At the same time, I also expect that all parties who contributed for the preparation of this plan will also effectively contribute in future as well for successful implementation of the plan.

Archt. Harshan De Silva

Chairman

Urban Development Authority

## HONORABLE MAYOR'S FOREWORD



Kandy is a significant city as the last kingdom of the Sinhala dynasty and the most magnificent Sri Dalada Maligawa is also located in this city. Kandy is also important as the second capital of Sri Lanka and the capital of the Kandyan Kingdom. The city is enriched with tangible and intangible cultural heritage assets and UNESCO was declared Kandy as a world heritage city in 1988.

This municipality has a proud history of more than 150 years and has a proud history than any other local authority in Sri Lanka. Major responsibility of Kandy Municipal Councils is to accommodate the common needs of around 150,000 urban dwellers and 500,000 migrants daily.

I am delighted as the mayor regarding preparation of Kandy city development plan for the next 10 years, taking into consideration the anticipated developments in the economic, social, physical and environmental sectors by the Urban Development Authority, headed by the State Minister of Urban Development, Coast Conservation, Waste Disposal and Community Cleanliness.

I studied this plan and found that it has been used the modern techniques and the plan is successfully adapted to cultural and religious values of the Kandy city without harming the historical setting.

I hope that the Kandy city development will be implemented in this manner, which is proposed to be implemented up to 2030 by this plan, and the municipal council will carry out all the activities to be carried out by the Kandy municipal council proposed by this plan.

Kesara D.Senanayake

Mayor

Kandy Municipal Council

## PREFACE

The Urban Development Authority has been sanctioned as the key institution established under Act No 41 of 1978 to regulate the development of urban areas and thereby this area is also recognized by the subject Minister where the declared region be developed through preparation and implementation of the integrated development plan for physical, socio-economic and environment development as its core determination.

Kandy Municipality area has been declared as an urban development area under Extraordinary Gazette No. 26/8 of 7th March 1979 on Section 3 (1) of Section No 8 (a) of Amendment Act No 04 of 1982 under the UDA Law No 41 of 1978.

Since the validity of Kandy Development Plan for the period from 2002 to 2016 as implemented by the Urban Development Authority from 27th April 2002 as published under Extraordinary Gazette No 1290/01 dated 26th May 2003, has been lapsed on 31st December 2016 and granted further extension up to 31st December 2020, therefore, this development plan will be implemented from the year 2021.

The Central Provincial Office of the Urban Development Authority has initiated in preparing the Development Plan for the area covering Kandy Municipality in consideration of economic, social, physical, environmental and cultural components in the year 2017 and will be enforced the Development Plan for the period of 2021 -2030.

Kandy Municipal Council Area Development Plan 2021-2030 consists of three main parts such as part I, part II, and part III. The part I consists of the background study, preliminary studies, the need of the plan, the planning framework, the SWOT analysis and the plan. Part II consists of the Planning and Building Regulations and zoning regulations pertaining to the planning boundary for the period of 2021 – 2030. The Part III consist of the zoning boundaries with the coordinates and all the annexures.

Part One - Chapter 1 of the plan detailed out the meaning of the term development plan, its legal context, the stakeholders of the plan, its context and the planning process followed. Chapter 2 & Chapter 3 respectively include the planning area, history of the area, boundary delineation of the area and need of the plan in detail. Chapter 4 consists of Vision, Goals and Objectives and Strategic Plans while Chapter 5 include the detailed description on the baseline SWOT analysis for each Goal. Further, Chapter 6 of the plan describes the conceptual plan and proposed land use development plan. Under that the main strategic plans of the Kandy Municipal Council Area Development Plan such as Road and Transport Development strategy, Sustainable Environment development strategy, Economic development strategy, Infrastructure development strategy and implementation strategy has been detailed out as sub sections.

Similarly, Part Two - Chapter 7 has been dedicated to describe planning & Building regulations and in chapter 8 described the identified zones and zoning regulations and Chapter 9 included proposed road width, building line and reservations.

Thus, the intention of this Authority and the Government of Sri Lanka is to implement the Kandy Municipal Council Area Development Plan 2021-2030 in near future.

**APPROVAL OF THE DEVELOPMENT PLAN FOR THE KANDY MUNICIPAL COUNCIL  
AREA**

I, Mahinda Rajapaksa, Minister of Urban Development and Housing do hereby approve the development plan for the Kandy Municipal Council area, having considered the recommendation made by the Board of Management of the Urban Development Authority on 24<sup>th</sup> September, 2020 by virtue of the powers vested in me under section 8 “F” of the Urban Development Authority (Amendment) Act No.4 of 1982.



**Mahinda Rajapaksa (M.P)**

**Minister of Urban Development and Housing**

Ministry of Urban Development and Housing,  
17<sup>th</sup> and 18<sup>th</sup> Floors,  
“Suhurupaya”,  
Sri Subhuthipura Road,  
Battaramulla.

**Date:** <sup>05<sup>th</sup> May</sup> April, 2021.



## Gazette Notification



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(Published by Authority)

### PART I : SECTION (I) — GENERAL

#### Government Notifications

##### APPROVAL OF THE DEVELOPMENT PLAN FOR THE KANDY MUNICIPAL COUNCIL AREA

I, Mahinda Rajapaksa, Minister of Urban Development and Housing do hereby approve the development plan for the Kandy Municipal Council Area, having considered the recommendation made by the Board of Management of the Urban Development Authority on 24th September, 2020 by virtue of the powers vested in me under Section 8 “F” of the Urban Development Authority (Amendment) Act, No. 4 of 1982.

**MAHINDA RAJAPAKSA (M. P.),**  
Minister of Urban Development and Housing.

Ministry of Urban Development and Housing,  
17th and 18th Floors,  
“Suhurupaya”,  
Subhuthipura Road,  
Battaramulla,  
05th May, 2021.

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PART I: SEC. (I) - GAZETTE EXTRAORDINARY OF THE DEMOCRATIC SOCIALIST REPUBLIC OF SRI LANKA - 13.07.2021

**NOTICE OF APPROVAL OF THE DEVELOPMENT PLAN FOR THE MUNICIPAL COUNCIL LIMIT OF KANDY**

NOTICE is hereby given to the General Public of the Democratic Socialist Republic of Sri Lanka under Section 8 (G) of the Urban Development Authority Law No. 41 of 1978 as amended by the Act, No. 4 of 1982 that I, Mahinda Rajapaksa, the Minister in Charge of the subject of Urban Development & Housing, by virtue of the powers vested in me under Section 8 (F) of the said Act, have approved the Development Plan for the Municipal Council Limit of Kandy, prepared under Section 8(A) of the said Act on the 05th day of May, 2021.

**MAHINDA RAJAPAKSA (M.P),**  
Minister of Urban Development & Housing.

Ministry of Urban Development & Housing,  
17th and 18th Floors,  
“Suhurupaya”,  
Subhuthipura Road,  
Battaramulla,  
12th July, 2021.

07 - 485/2

**APPROVAL OF THE DEVELOPMENT PLAN FOR THE MUNICIPAL COUNCIL LIMIT OF KANDY**

PUBLIC are hereby informed that the Development Plan prepared for the Municipal Council Limit of Kandy under Section 8 (A) of the Urban Development Authority Law, No. 41 of 1978 as amended by the Act, No. 4 of 1982 has been approved on 05th May, 2021, by Hon. Mahinda Rajapaksa, Minister of Urban Development & Housing by virtue of powers vested on him under Section 8 (F) of the said Act.

**Arch. HARSHAN DE SILVA,**  
Chairman,  
Urban Development Authority.

12th July, 2021.

07 - 485/3

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# Part I



**Chapter**

**01**

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**Background of the  
Study**



## Chapter 01

# Background of the Study

### 1.1 Introduction

Existing economic, social, environmental, political and cultural factors of a town will be determined the future direction of the town and it will effect development of the town in a positive & negative manner. Condition context of these components will decide the future advancements which would begin in preparing the development plan.

The Urban Development Authority has been sanctioned as the key institution established under Act No 41 of 1978 to regulate the development of urban areas and thereby this area is also recognized by the subject Minister where the declared region be developed through preparation and implementation of the integrated development plan for physical, economic and environment development as its core determination.

Kandy Municipality area has been declared as an urban development area under Extraordinary Gazette No. 26/8 of 7<sup>th</sup> March 1979 on Section 3 (1) of Section No 8 (a) of Amendment Act No 04 of 1982 under the UDA Law No 41 of 1978 (Annexure 1).

Since the validity of Kandy Development Plan for the period from 2002 to 2016 as implemented by the Urban Development Authority from 27<sup>th</sup> April 2002 as published under Extraordinary Gazette No 1290/01 dated 26<sup>th</sup> May 2003, has been lapsed on 31st December 2016 and granted further extension up to 31<sup>st</sup> December 2020, therefore, this development plan will be implemented from the year of 2021.

the Central Provincial Office of the Urban Development Authority has initiated in preparing the Development Plan for the area covering Kandy Municipality in consideration of economic, social, physical, environmental and cultural components in the year 2017 and will be enforced the Development Plan for the period of 2021 -2030 with effect from 1st January 2021.

Context of the area, environmental sensitivity, areas of attractive scenic beauty and comprising cultural component environmental factors and also natural environmental factors are particularly considered in preparing this development plan for expected years wherein development strategic planning and control mechanism are introduced herewith.

## 1.2 Stakeholders of the Plan

Kandy Municipal Council Area Development Plan 2021 – 2030 was prepared by the Central provincial office of Urban Development Authority with the consultation of relevant stakeholder agencies.

### **Main Stakeholder and Consultation agencies**

Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), Divisional Secretariat office of Gangawata Korale, Central Environmental Authority, Sri Lanka Mahaweli Authority, Road Development Authority, National Building Research Organization, Provincial Road Development Authority, National Housing Development Authority, Board of Investments Sri Lanka, Provincial Tourist Board, Sri Lanka Tourism Development Authority, Natural Resource Management Centre, Archaeological Department, Central Cultural Fund, Sri Lanka Industrial Development Board, National Water Supply & Drainage Board, Strategic Cities Development Project, Japan International Cooperation Agency(JICA), World Heritage Building Conservation Committee, Peradeniya University – Geography Department, Irrigation Department, Disaster Management Centre, Agriculture Department – Gannoruwa, Sri Lanka Chamber of Commerce.

### **Other Stakeholder groups and Agencies**

Local Government Department, Hantana Preservation Organization, Sri Lanka Railway Department, Dumbara Prison, Department of Wild Life Conservation, Laksala Kandy, National Botanical Gardens Department, Sri Lanka Police, Civil Defense Commanding Headquarters, Kandy General Hospital, Peradeniya Teaching Hospital, Ayurveda Department – Kundasale, Provincial Health Service Director's Office – Kandy, Suwa Sevena (Pvt) Hospital – Kandy, Forest Conservation Department, Sugthadasa National Sports Complex Authority, Engineering Services Department, Sri Lanka Telecom, Buddhist Affairs Department, Sri Lanka Postal Department, Women's Chamber of Commerce, Financial Institutions - People's Bank, Commercial Bank, Bank of Ceylon, Sampath Bank, Sinhalese Trade Association, Kandy Professional's Association, Contractors Association, Private Businessmen, Central Province Architects Association, Tourist Hotel Owners Association, Sri Lanka Bar Association, Private Sector Housing Developers, Hyru Engineers (Pvt.) Company – Katugasthota, Prime Homes (Pvt.) Company – Kandy, Rotary Club.

## 1.3 Scope

### Scope

After carrying out research studies covering the authorized area of Kandy Municipal Council area and ten (10) Divisional Secretariat Divisions, this Development Plan has been prepared for the Kandy Municipality.

As per the National Physical Plan prepared for the year 2050 (Annexure 2), central mountainous area has been identified as environmental sensitive zone of Sri Lanka with all water resources are originated from the central hills. Hence the development plan has been prepared bearing in mind to limit population expansion and avoid large scale development projects in the Kandy Municipal area.

The National Physical Plan insists that residential population is to be limited to 700,000 population within Kandy metro region in 2050. Considering of the carrying capacity analysis the anticipated residential population of the Kandy Municipal Council area is estimated as 106,000 during the year 2030.

Same plan contends that the district capital is to be named as the municipal limit of Kandy and this plan too follows it the similar way.

Along with the Central Expressway which has already begun the constructions offers resourceful linkages with Colombo and Kurunegala through Galagedara Interchange exist via Katugasthota and Kandy. Accordingly, the future direction of Katugasthota & Kandy would also be determined under this development plan.

The Strategic City Development Plan for 2030 claims that from Piimathalawa to Peradeniya, Kandy Town centre and Mahaiyawa via to Katugasthota, Thannekumbura to Kundasale, Pallekelle via to Digana area extended high dense development corridor, and clustered area as identified in the Greater Kandy Urban Development Plan for 2020, Kandy urban area, Peradeniya area, Katugasthota area and Kundasale to Digana areas are also assimilated in the conceptual plan of this development plan.

The strategic development projects and guided plans identified by the Greater Kandy Urban Development Plan 2008-2020, Strategic Development Plan 2030 and Greater Kandy Urban Plan, are also included in this development plan.

A superior attention has been focused in this plan to preserve cultural landscaping and scenic beauty in and around the Sri Dalanda Maligawa located in Kandy, a world heritage town, by introducing laws and regulations in controlling colors, heights, raw materials of buildings, sign boards, usages and colors of electric lightings scatted in and around the vicinity.

The Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) positioned in Kandy and the vicinity has been declared as a sacred area as per Extraordinary Gazette No 301 of 8th June 1984 and it has been further widened its boundaries by Extraordinary Gazette No 1209/19 of 8th November 2001 (Annexure 3). In and around Gatambe Rajopawanaramaya has also been declared as a sacred area by Extraordinary Gazette No 1120/15 of 23<sup>rd</sup>

February 2000 (Annexure 4). Hence, all rules & regulations contained in those gazettes are reproduced in this development plan as well.

UNESCO organization has declared Kandy as a world heritage city in 1988 and by Extraordinary Gazette No. 1290/01 of 26<sup>th</sup> May 2003 and the Kandy Municipal area development plan prepared for 2002 – 2016 has identified 490 numbers of world heritage buildings along with 104 numbers of archeological buildings declared by Department of Archeology vide Extraordinary Gazette No 1401 of 8th July 2005 as implemented from 27<sup>th</sup> April 2002 are also further identified as world heritage buildings by this plan. (Annexure 5).

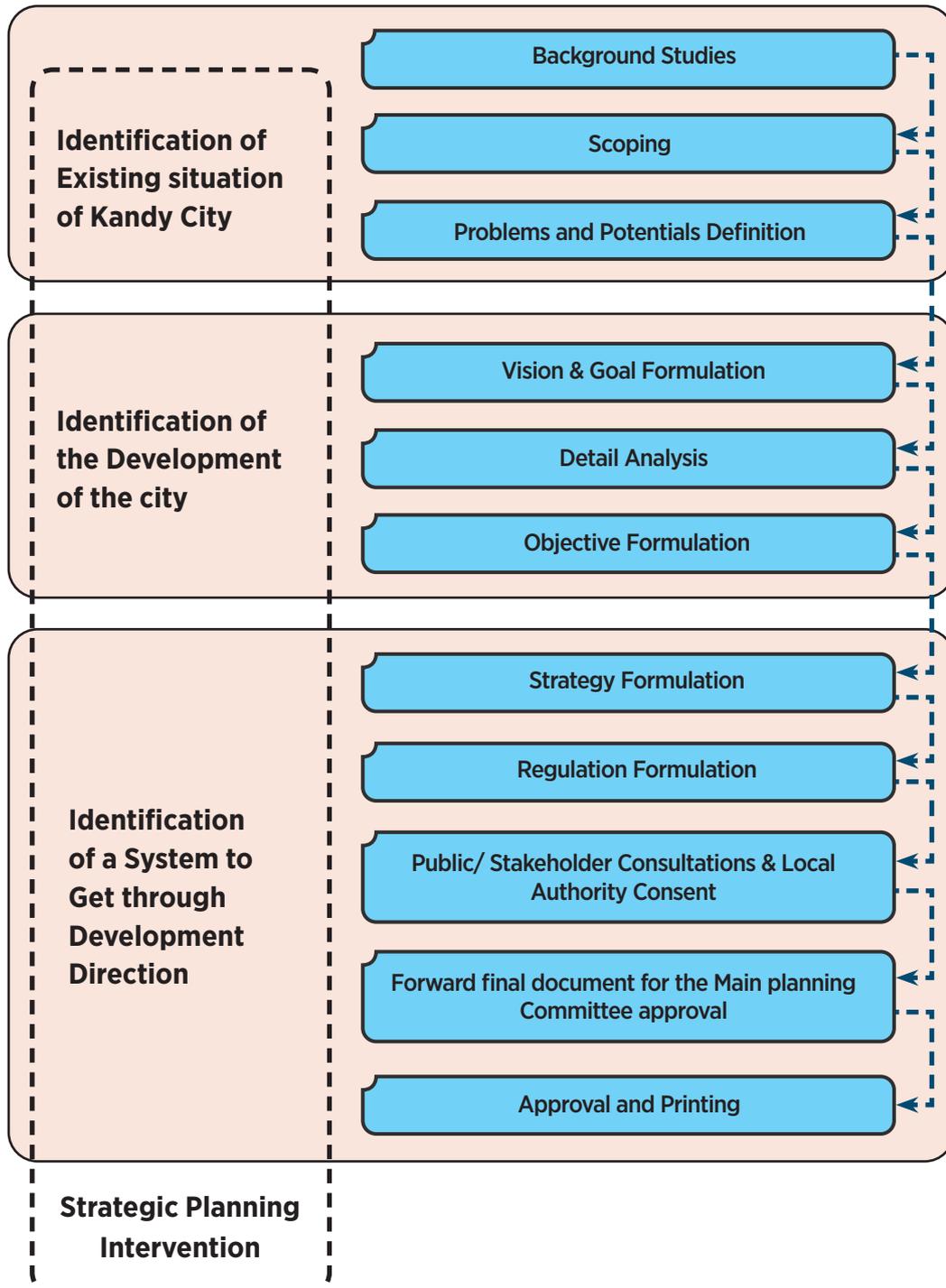
The plan also incorporates the “Varathenna – Hakkinda” Environmental Protection Area and its associated rules and regulations enshrined in the Mahaweli River by the Extraordinary Gazette Notification No. 2024/6 of 19<sup>th</sup> June 2007. (Annexure 6)

In order to preserve the historical, cultural values with the environmental landscaping and scenic beauty of mountainous areas in focusing exceptional attention on geographical settings of the Kandy city, a separate set of rules & regulations has been introduced by this plan. Further, special attention has been given planned city with tourist attraction and sustainable economy, comfortable lives for people by the year 2030 under this development plan.

## 1.4 Planning Process

Strategic Planning Process has been applied in preparing the Development Plan for the Kandy Municipal Council area which is given below.

Figure 1: Planning Process



Source: Urban Development Authority - Central Provincial Office Kandy, 2021

### **1.4.1 Background Studies**

As an initial step under the background studies, a study was carried out for population, housing, employment, infrastructure facilities, topography and environmental situation and trends on relevant sectors for 10 Divisional Secretariat divisions of Greater Kandy Area.

### **1.4.2 Scoping**

After studying past planning exercises focusing the Kandy city and getting experiences of them and as results the future direction of planning studies has been done under this stage. Further the possible ways are searched in preparing development planning under broad guidelines specified in the National Physical Plan regarding Kandy area development. And also identified the impact of development projects intended to be launched under the national level.

### **1.4.3 Problems and Potentials Definition**

With the background study of Kandy Municipal Area, some key problems are identified over a survey and an analysis of it which hinder the sound and worthy behavior of a town. Further, identified potential which inheritance to the town itself will be appropriate for the development.

### **1.4.4 Vision & Goals Formulation**

With the development direction of Kandy urban zone, a vision is determined where achieving the determined vision; four (4) Goals have been decided & finalized.

### **1.4.5 Detail Analysis**

Strength, weaknesses, opportunities and threats (SWOT) analyses of the urban area have been done in achieving the 4 objectives. In this process, environmental sensibility analysis, bearing capacity analysis, vision analysis, suitability analysis, inter urban relationship analysis methods etc. have been applied.

### **1.4.6 Objective Formulation**

In achieving the determined goals via SWOT analysis, objectives have been independently determined in achieving 4 goals.

### **1.4.7 Strategy Formulation**

New regulations, guide plans etc. regarding achieving objectives have been identified and described under following 07 headings and included in Chapter 6, 7 of this development plan.

1. Conceptual Plan
2. Land and building development strategies
3. Physical and Social Infrastructure Facilities development strategies
4. Economic development strategies
5. Sustainable environmental development strategies
6. Cultural and heritage management strategies
7. Implementation strategies



**Chapter**

**02**

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**Background  
Studies**



## Chapter 02

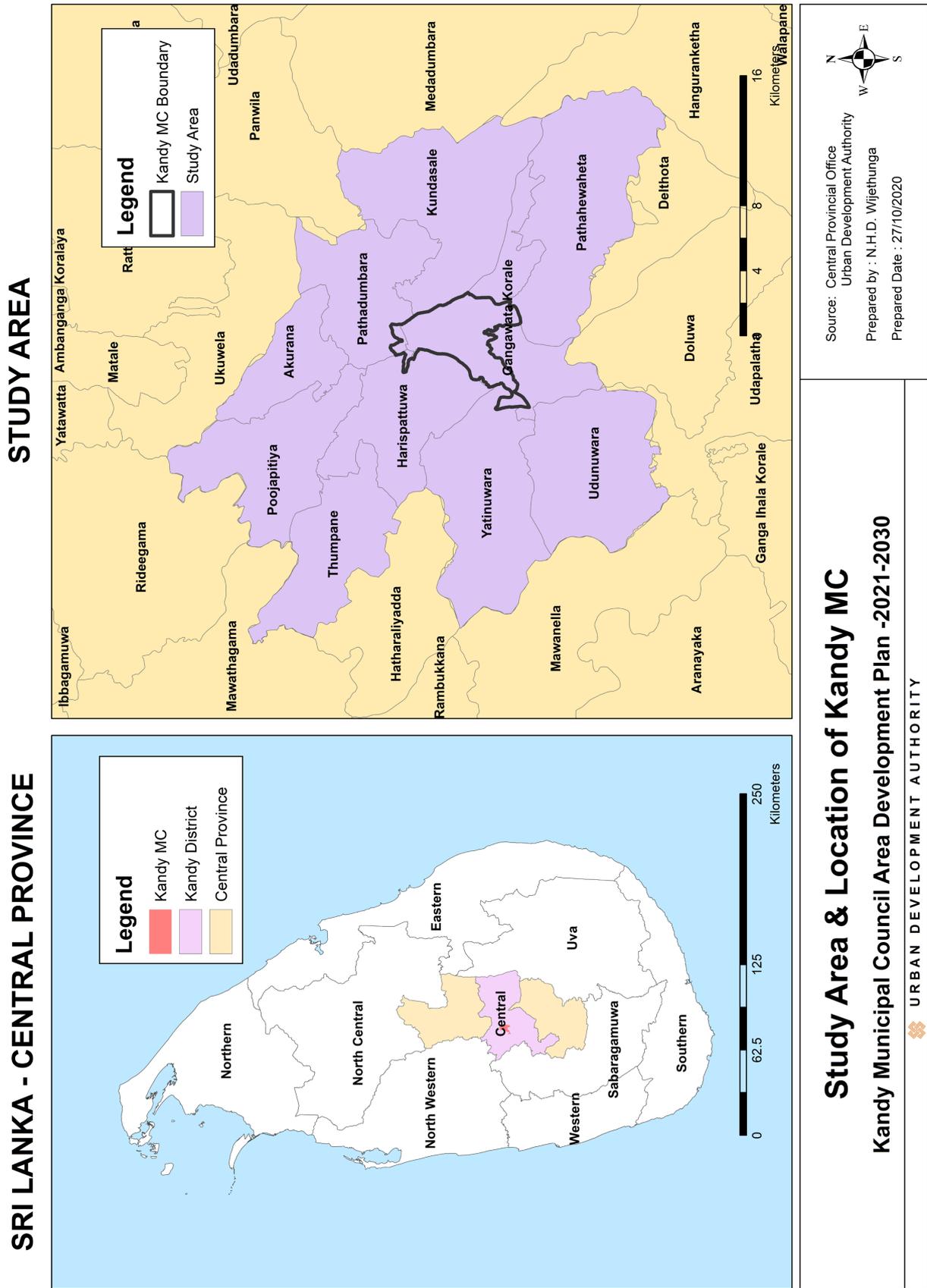
# Background Studies

### 2.1 Study Area

Kandy Municipal Council area is in the Kandy District of the Central Province of Sri Lanka and it covered land area of 26.45 sq. km or land extent of 2,645 hectares. It is situated in north latitudes of 7° 21' and east longitudes of 80° 45'. This municipality area is about 120 km distance from Colombo and known as 2nd major town in Sri Lanka.

Though Kandy Development Plan implementable to the Kandy Municipal Area, the exercise of preparing of this plan is done in consideration & studying of Ten (10) Divisional Secretariat areas of Thumpane, Poojapitiya, Akurana, Pathadumbara, Kundasale, Gangawata Korale, Harispaththuwa, Yatinuwara, Udunuwara and Pathahewahata respectively 747 Grama Niladhari divisions consisting of 608 sq.km in extent. This region is combined with 13 Local Authority Areas including a municipality, two urban councils and 11 Pradeshiya Sabhas.

Map 1: Study Area of the Development Plan



Chapter 02  
**Background  
Studies**

Planning and  
Situation Context

Kandy Municipality is the only Municipal Council in the study area and it is bounded by Harispaththuwa PS & Patha Dumbara PS to the north, Patha Dumbara PS division & Kundasale PS to the east (Centre line of Mahawely River), Kandy Kadawathsatara PS & Gangawata Korale PS to the south, (Hanthana mountain range) Yatinuwara PS Harispaththuwa PS to the west.

The entire land area of Kandy Municipality is comprised with part of DS divisional area of Kandy Kadawathsatara & Gangawata Korale, part of DS divisional area of Harispaththuwa and part of DS divisional area of Patha Dumbara all comprised with 45 GN divisions and 21 Municipal Wards.

This town is located 500 – 600 meters above from the mean sea level & fitted to tropical rain forests where annual average temperature is about 24°C – 25°C degrees of Celsius with an annual rainfall of 1,700 mm– 2,400 mm in a region of salubrious climate.

## 2.2 Planning and Situation Context

History of the Kandy monarchy drives up from 14th Century where King Wickramabahu the 3rd originally ruled (1357 - 1374 AD) who designated the Kandy city as the capital of his kingdom. Thereafter, the Kandy was the capital for three kings finally King Rajasinghe 1st (1581 – 1591 AD) who selected Seethawaka as his capital city and from then King Wimaladharmasuriya re-selected the Kandy as his territory (1592 - 1604 AD) and thereafter this capital was continued for 223 years by 9 kings and finally ended at 1815 AD when over thrown King Sri Wickrama RaJajasinghe by the British.

As a consequence of westerners' arrivals, the hindrance happened to the Buddhist people, most kings in the past had to allow number of other religious groups too to locate their own religious institutions in various locations in the Kandy town. As an important step at the time of King Wimaladharmasuriya the 2nd a Palace for the Holy Tooth Relic has been built and also numbers of other Buddhist temples were also constructed around the Sri Dalanda Palace simultaneously. This time, number of Hindu Kovils, Muslim mosques, Christian churches etc. were also stationed. With all these religious institutions, Kandy city become not only an ancient, religious but also cultural significant location.

A grid pattern road network has been made for Kandy town during the year about 1800 and that road network linked as access with the ancient Walawwas as well (Dunuwila, Nugawala, Pilimathalawa Walawwas). During the colonial period, railway and road systems were developed in the Kandy town and in the year 1825 Colombo – Kandy Highway, Peradeniya Bridge in the year 1826, Kandy - Matale Highway in 1831, Kandy – Haragama Road in 1847, Bandaranaike Road in 1865 and Kandy - Matale railway line has been extended in 1878.

Few development plans have already been prepared by the Planning Division of the Urban Development Authority in comprehensively considering Kandy and its glorious history, socio economic, cultural & environmental factors and the supremacy of the town based on existing demands.

According to the National Physical Plan - 2050 prepared by the Department of National Physical Planning, Kandy is identified as a city located within central environmental sensitive area. The plan further addressed that Kandy municipality consisted greater Kandy area as a metro region and also identified as the district capital. Further projected population of the Kandy Metro region area is limited to 700,000 persons.

Through the Kandy development plan enforced by the UDA for 2002 – 2020, a development control mechanism by regulations, strategic zoning plan was prepared to development promotion and some extent to control. Special attention was given for the protection of archeological sites, natural environment and control of high-rise buildings etc. (Annexure 7)

As per Greater Kandy Development Plan prepared for the period from 2008-2020 covering land area of 273 sq. km in order to release the urban congestion and it was intended to develop the Kandy city as the world heritage city. Since administrative activities, educational centers, hospitals, Headquarters of Singha Regiment, Bogambara Prisons, municipal facilities such as Bogambara outer bus stand etc. have already been stationed within the city, further proposed to shift beyond the city limits in sub towns. Towns such as Kundasale, Digana, Katugastota, Peradeniya & Eriyagama were also proposed as sub towns centering to the Kandy city (Annexure 8).

Strategic Cities Development Plan for 2030 comprising of Kandy four gravates & Gangawata Korale DS divisions and six other DS divisions, proposes hindrance to historical inheritance, spread of development activities towards environmental sensitive areas and various constraints regarding traffic congestion etc. as a solution to them a relatively high dense development corridor from Pilimathalawa to Peradeniya, Kandy city center via Mahaiyawa to Katugastota and also this development corridor from Tannakumbura to Kundasale, Pallekele through Digana area are also proposed for expansion. (Annexure 9)

In order to seek solutions to high demands for development activities along either side of main roads, high traffic congestion, threats to identity of world heritage buildings, threats to environmentally sensible areas, an attention has been focused through the Greater Kandy Urban Plan prepared for 2020 in collaboration with Japan International Cooperation Agency(JICA). This plan addressed that Kandy town is identified as a cluster development area for cultural and tourist activities, Peradeniya as a clustered area for high educational activities, Katugasthota area as a clustered area for trade & commercial activities, Kundasale & Digana area for industrial associate

cluster area and further to be developed strategically. (Annexure 10)

Colombo – Kandy Main Highway (A1), Katugasthota – Kurunegala (A10) road, Kandy – Jaffna (A9) Road, Kandy – Mahiyangana Padiyatalawa (A26) road, Kandy – Badulla (Raja Mawatha (B413) road and Peradeniya – Badulla, Chenkalady (A5) road are the key roads which connect the Kandy city. Among them A1, A9 and A26 roads directly linked with the town Central Business District (CBD). There are 2 railway line directly linked with Kandy Town Centre. One railway line is from Kandy to Peradeniya railway line. This line divide two parts and one part extend from Peradeniya to Colombo and other part extends from Peradeniya to Badulla. Other railway line extends up to Matale Railway Station. (Annexure 11)

As per data of the census 2012 of the Dept. of Census & Statistics, the population of the study area was 896,606 persons which are 4.4% of Island population, and it counts around 34.9% of provincial population in the country and reported as 66% of the district population. In considering population growth rate for the period from 2001 – 2012, the Kandy district growth rate was counted as 0.65% and the growth rate of the study area was 0.78%. Accordingly, the projected population of the study area would be 949,793 persons in the year 2017. The population in Kandy city area was 102,459 persons and counted as 0.5% in the island, 3.9% in the province, 7.4% in the district and 11.4% in the study area. Annual average growth rate of the Kandy urban area is -0.7% and accordingly projected population of the Kandy municipal area is projected as 98,922 persons in 2017. (Annexure 12)

Population density was 14 persons per one hectare of the Study area in the year 2021 and highest density founded in the Kandy municipal area. Further higher population growth could be seen extending along Kandy – Digana road, Peradeniya – Aladeniya road and Akurana – Alawathugoda road etc. Population data revealed that population density in the municipal area was 38 persons per -hectare in 2021 and it increased up to 76 persons per hectare in the case of residential land use concerned. Purnawatta west and Suduhumpola west Gramaseva Niladhari divisions population density was above 122 - 246 persons per hectare though it was recorded around 01- 20 persons per hectare in Kandy Dodanwala, Welata, Kandy Heerassagala and Ampitiya South GS divisions. (Annexure 13)

There was male population of 428,547 (48%) while female population of 468,059 (52%) in the year 2021 within the area Study area of Kandy. Male population in the Kandy Municipal area represented 49,916 (49%) and female population counted as 52,543 (51%).

Year 2021, considering the ethnicity, Sinhala community was 75.8%, Sri Lanka Yonaka 7.9% Tamils community 0.4% was other communities in the Study area. Sinhala Community counts 70%, Sri Lanka Yonaka 15.2%, Lanka Tamils

10%, Indian Tamils 2.6%, Burgers 0.6% and Malay groups 0.6% respectively in the Kandy Municipal area.

Buddhists are 76.0% while Muslims 17.2%, Hindus 4.9%, Roman Catholic 1.8%, other religious groups 0.1% of the total population respectively in the year 2021 in the study area of Kandy. However, in considering Kandy Municipal limits; 66.3% are Buddhists, 16.7% Islam, 10.2% Hindus, 4.8% Roman Catholics and 1.9% are identified as other religious groups respectively.

Kandy study area could be identified as the catchment area of the Kandy city. Residents from that area regularly are moving toward to the town for various purposes. The traffic survey carried out during the year 2014, total of 325,000 persons daily moved to the town as local and foreign tourists and for the purpose of employment, health, educational affairs while moving of 56,000 vehicles daily towards the city.

During the period of 7.00 PM - 9.00 PM is the busiest and activated time within the study area of the Kandy on Full moon Poya Holidays, Sinhala & Tamil New year holidays and also specially Asala Perahera days the night time duration goes from 7.00 PM to 11.00 PM. The commuter population moving these days increase up to around 500,000 – 600,000 persons in a day.

The report from the Department of Census & Statistics in the year 2012, 60.11% of land area in the study area is used for residential purposes and number of houses counted as 218,302 nos. which was nearly 63.7% of the total houses in the district. Accordingly houses of the Kandy Municipality were 26,722 nos. which is again around 12.2% of the total houses of the study area.

Complete Land Use Survey was done in the year 2015 revealed that 51.11% of the total lands in the Municipal area was used for residential purposes. During the year 2021 that 89% of houses area categorized as permanent and 8% was semi-permanent houses. Information discovered that there was an increase of 6,110 houses during the period from 2001 to 2021. In concerning particular to Kandy municipal area that about 57% were single storied houses and 4% known as slums & shanties and row houses. Further within underserved housing units in 37 settlements, found 2,176 housing units and also found that 11 units in Pitakanda GN Division, 23 units in Purnawatta west, 11 units in Suduhumpola East, 11 units in Ampitiya GN divisions and some row houses also expanded in Municipal area as well. Such row houses could be seen as 46 units in Nithhawela, 195 units in Purnawatta west, 42 units in Deiyannawela and 200 units in Heerassagala. (Annexure 14)

Within the study area, housing density is more than 04 units per hectare. Within the municipal limits it was 09 units. The lowest housing density of 02 units per hectare prevailed in the Malwatta GN Division. The especial

reason is that location of Peradeniya Botanical Garden which consumed 40 acres of lands, Peradeniya University, Dental clinic, Peradeniya Teaching Hospital, and other government offices & private offices, schools, Police are stationed in this area could be identified as the cause behind this low density. There are houses provided for low income Municipal laborers in the Purnawatta West. Higher housing density is therefore prevailed as 96 units per hectare in this GN Division. (Annexure 15)

Contribution to the Gross Domestic Production of the Central Province counts 10.3% which represents 4th place among all other provinces. In the case of Gross National Production, it adds 13.8% from agriculture sector, 7.9% from industrial sector and 11.0% from services sector. Thus, contribution to the Central Province GDP from the Kandy District projected to be provided 5.5% from the agriculture sector, 22.8% from the industrial sector and 71.6% from the services sector.

Economically active population of Sri Lanka is 51.6% and it is about 47.4% in the study area. It is around 92.7% employed and unemployed around 7.3% in this area. Accordingly, economically active population counted as 46.9% in the Kandy Municipal area out of which removing unemployed people the economically active population remained as 43.9% from the total population.

Within the Kandy Municipal area of the study area, all economic, trades and services are mainly concentrated. Among income segments, of the Kandy Municipal Council, water supply (14.0%), the main income source is the tariff besides property and other tax. It was 10.5% in the Budget of year 2017. It was a duty to provide service to 325,000 migrants who daily move to the town. Educational, health service, administration and religious places are located in the town center while Kandy to Peradeniya, Kandy to Katugasthota and trade allied activities are expanded largely in the Katugasthota town.

Tourist attractive locations are largely available in the study area as well and Kandy Municipal area can be identified as the most important & large numbers of tourist attractive locations are centered. The main reason behind this is that all the Buddhist honored Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) is located presently in the Kandy Municipal area. It is understood that 90% of foreign tourists are inevitable at least tend stay over one night in the Kandy city.

Apart from the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), the Botanical Garden of Peradeniya is another tourist stimulated location in the Kandy district. The annual income of Rs. 23, 139.00 generated from Kandy Museum in the year of 2014 and the income of Peradeniya botanical garden was Rs. 642.8 million in the year of 2016. Information available with the Census & Statistics revealed that percentage of numbers days stay in the Kandy town reached to 77.47% out of total tourists who arrived Sri Lanka in 2016. In considering the tourists who stay overnight in Sri Lanka reached

to 75.24% out of which foreign tourists count 44.3% and local tourists are 34.5% of it. It would be particularly important to have somewhat higher level of stay over at least a night in this town. There are around 334 hotels are expanded in the Kandy city and supply around 18,510 rooms for such tourists. However, in order to provide accommodation at least one day overnight for tourist it necessary to make available another 850 tourist rooms.

Water supply in the study area is being carried out by National Water Supply & Drainage Board together with Urban Councils of the area, Community Water Supply Board and the Kandy Municipal Council. There are around 12 water supply schemes in operation in these areas and 22 purification plants are also established. Presently around 129,820 cubic liters of potable water are being produced daily and from that supply performs 76% of people's drinking water requirement. Potable water supply for the Municipal area is performed by the Kandy Municipal Council itself. The process of water supply depends on Mahaweli River, Rosnith reservoir and Dunumadalawa reservoir and nearly 36,000 cubic meters daily produced. Water is purified by 2 water purification plants established at Gatambe and Wels Park where, out of entire purified water supply 80.6% is make use of residential purposes and 17.1% is directed towards commercial purposes while very low percentage of 0.035% diverse for industrial purpose. From the entire water supply, a higher percentage of 67% used for residential, 23% for commercial and 0.03% for industrial purposes and 3,642 cubic meters set apart for 315 government institutions which is 7.76% of total consumption of water. Since the inadequacy of municipal water supply of 36,000 cubic meters, Kandy Municipal Council obtain around 10,000 - 12,000 cubic meters from the National Water Supply & Drainage Board daily.

Kiribathkumbura & Polgolla sub centers of National Electricity system, a 50 megawatts capacity distribute through 16 soft sub centers and 3 primary sub centers via underground 180 tarred cables and though surface 10 tarred cables Kandy town is equipped with the electricity. Electricity connectivity has been utilized 80.96% for residential units, 18% for commercial units while giving around 75% electricity capacities for the entire municipal area and remains 25% capacity for the purpose of new connections.

There are 22 district hospitals, 1 primary hospital and 1 rural hospital in the study area. Hence Kandy city can be identified as the center of health services and Kandy General Hospital, Peradeniya Teaching Hospital, Peradeniya Children's Hospital, Peradeniya Dental Hospital, Kandy Chest Hospital, Katugasthota Divisional Hospital and Municipal Council managed Public Health officer's office etc. are all located in the municipal area of Kandy city. There are also maintained 14 Ayurveda medicine centers managed by the Ayurveda Section and perform services to the people. Clinical services of 52 categories carried out by the Kandy General Hospital and that service accomplishes around 11,333 clinical services during the entire year. The

participation by public for these clinics reached up to 915,000 persons in the year 2014. There are 13 intensive care units, 25 surgical units for emergency health purposes and facilities of ECG, Ex ray services, MRI etc. within the Kandy General Hospital. Kandy General Hospital is the 2nd largest national hospital in the island and this hospital served for 400,000 outdoor patients and 200,000 indoor patients during the year 2017.

Study area consists of 342 schools with educating children of nearly 184,600 in the year 2014. Within the municipal limits there are 41 government schools of which getting education for 65,076 and employ around 3,177 teachers. Out of these 6 national schools and 35 Provincial Council managed schools. Average Student: Teacher ratio of the Education Department is 1:28 and it is clear that Ratio is 1:20 in the case of Kandy City. There are also 7 semi government schools, 28 preschools, 09 International schools 21 professional training institutions in the Kandy City and Peradeniya University is the prime higher institution.

It is understood that there was internal drainage system in the Kandy municipal area as far back from the British Colonial period. These drains are underground system and not all roads are covered with. Lack of open drains for disposal of storm water seemed an implication. Mixing of effluent water to Kandy Lake (Nuwara Wewa), Mahaweli River and other water sources of which Nuwara Wewa is particular case. (Annexure 16)

Sewage collected in septic tanks in the Kandy City is disposed to Gohagoda by using of Gully suckers and daily such disposals reached to 50 – 60 cubic meters. After 3 months' maturity, re-cycled effluent water has been disposed finally. Kandy Municipal Council engages in this process and financial assistance of Sri Lanka and JICA Program, an initial step has already been undertaken for waste water project with the integral collaboration of National Water Supply & Drainage Board and Kandy Municipal Council in keeping with the current requirements of the town which is limited only to Kandy Municipality area a part of the study area. This covers around 733 hectares and serve 150,000 daily migrants together with underserved communities of 55,000 people and their toilets of 512 and business buildings of 12,600. This project covered 10 GN divisions fully and 16 parts of some GN divisions. This project is scheduled to finalize during the year 2019 and Gannoruwa Purification Plant is to be completed for a capacity of 14,000 cubic meters. (Annexure 17)

Disposal of waste in a day is 8,000 tons in the year 2017 in Sri Lanka and it was 240 tons per day in the study area. Out of these, Kandy city along daily disposes about 150 tons. Degradable waste counts 88% and non-degradable solid waste is 12%. It is evident that associated areas of hotels dispose more solid wastes than other areas in the Kandy City and it adds nearly 26.79% of total waste disposal. Kandy city is divided into 6 zones for the purpose of degradable waste disposal and diverted into a land extent of 32

acres at Gohagoda Filling Station. These wastes are covered with soils but apparently, it will be a project in generating 10 megawatt electricity finally.

Gangawata Korale, Yatinuwara, Kundasale Pathahewaheta and Thumpane DS divisional areas are subject to earth slips. Thus, the three categories of landslide areas namely, landslide high risk area, medium risk area and no risk area are identified considering disaster areas by Disaster Management Center and National Building Research Organization (NBRO) in Kandy municipal area. Land areas of 2nd Rajasinghe Mawatha, Mapanawathura, Mahaiyawa, Dharmapala Mawatha, Dharmasoka Mawatha, Bahirawa Kanda Road, Topaz Hilltop Hotel and vicinity, Hillwood girls College, Dharmaraja College, Vidyartha College, Puspadana girls College are areas subject to earth slip. Planning processes have been started in minimizing earth slips in land areas of Dharmaraja College, Vidyartha College and Hillwood girls College. (Annexure 18)

Flash floods could be identified in local authority areas of Yatinuwara, Poojapitiya, Akurana, and within the limit of Kandy Municipal Council. Flash flood area visible in few places in the Kandy Municipal area identified in Mahaiyawa area along the Kandy - Katugasthota Road, Kandy Railway premises, Sirimavo Bandaranaike Mawatha, Kingswood College and Sithadevi girls College. Flash floods would be possible due to dumping of garbage and blocking of water sources of Mahaweli River and it could be improved due to disposal of solid waste into natural water sources and also construction of unauthorized structures along and parallel land areas of water sources.

Their seemed to be 60.11% home gardens, 9.83 % paddy fields, 7.32% tea lands and 2.3% as water resources within the study area. Kandy municipal area consists of 2645 hectares of which 2449.1 or 92.64% is used for development purposes and balance 7.36% of land used is devoted for water sources, forest areas and paddy fields. Those are not usable for any development purposes and should be retained as same. (Annexure 19)

High land values are found in the Kandy municipal area and location of Mahaweli River, Kandy tank, Udawattakele natural forest, Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), Bahirawa kanda, Hanthana mountain range area the direct factors that raise land values within the municipal limits. Additionally, factors like state of world heritage, expansion of infrastructure facilities area other reasons for increased land values. Average land value ranging from Rs 05 million – Rs 06 million per perch in the city where highest land value could be seemed as Dalada Veediya where it is Rs 10 to Rs 11 million per perch. Further land values of DS Senanayake Veediya, Yatinuwara Veediya and Kotugodalla Veediya are Rs 7 to Rs 9 million per perch and it is Rs 5 to Rs 6 Million in the areas around Kandy Lake.

From extent of Kandy is 2,645 hectares of which 1,023 hectares or 39% are government lands. Government land consisted of mainly Kandy Municipal

Council, Divisional Secretary's Office, Land Reform Commission, Sri Lanka Railway Department, Forest Conservation Department, govt. schools of the Department of Education. Lands belonged to religious institutions counts as 101 hectares or 3.62% of total land area. Among 101 hectares of lands include land owned by Sri Dalanda Palace, Malwathu & Asgiriya Vihara, Natha Devalaya, Kataragama Devalaya & other Devalayas and Raja Maha viharaya as well.

The Study area is located 500 – 600 meters above the sea level and annual temperature is over 24°C - 25°C. This land area is within the medium rain forest range and annual rain falls is 1000 m meters. The rain falls originate from South West Monsoon (May – September) and North Eastern Monsoon (November - January) and from Inter Monsoon rain (April) thus gain rain entire period of the year.

In considering hydrology & geography, interconnection of water sources and geographical characteristics have created environmental circumstances in the study area. Polgolla dam and Victoria reservoir are to be found in this zone and from them very valuable service has been generated by generating hydroelectricity. Mahaweli River feeds by Hali Ela and Hali Ela valleys, Meda Ela & Meda Ela valleys, Heen Pankandura Ela & Heen Pankandura Valleys, are linking soundly with Mahaweli River. These water sources are fed with the support of Udawatta Forest and Wakarawatta Forest. Beauty of the Kandy Town, upsurges by river valleys & mountain greenery ranges around the city (Annexure 20)

## **2.3 Delineation of Planning Boundaries**

Following apparatuses have been based in delineation of planning boundaries for this development plan.

### **2.3.1 Functional Boundary**

Since the main schools, Health services, administrative complexes, universities & tourist attractive locations are to be found centering Kandy municipal area, the services have to be performed for about 325,000 migrants who reach the city daily for various purposes is further identified the catchment area of Kandy urban area.

The catchment area is expanding over Ten(10) Divisional Secretariat(DS) areas centering Kandy municipality, the study on development pressure analysis it found that through the roads access to Kandy city mainly from key two roads that is from Kadugannawa via Pilimathalawa and Peradeniya to Kandy, Gampola via Peradeniya to Kandy, from Digana via Pallekele to Kandy, from Galagedara via Hadeniya and Katugastota to Kandy, from Akurana via Katugastota to Kandy are the major areas having numerous urban activities. (Annexure 21)

Owing to this factor there is more trends for positioning of non-residential uses in the town center and high trend in locating residential & urban activities outwards the town center in areas of Kundasale, Gangawata Korale, Peradeniya etc. and mountainous areas which are historically & environmentally sensitive as it further revealed through analyses.

Thus, activities in the town center spread further beyond the Kandy municipal limits

### **2.3.2 Geographical Boundary**

In accessing Kandy City through the main roads passing such as Galagedara, Balakaduwa, Udadumbara and Kadugannawa can find out roads with bends & deep slopes and beautiful mountains as bench mark of the Kandy town.

1/3rd of Kandy Municipal limit bounds by Hanthana Mountain & its reservation in the south and other 2/3rd limit rounded by the Mahaweli River and hence Kandy Town clearly bounded by environmentally & geographical limits.

The Kandy Municipal area which rich with natural potential geographical identical characters such as Primrose, Bahirawa Kanda and Udawatta sanctuary with highly and environmentally sensitive land areas have been identified the limits of developable areas. (Annexure 22)

### 2.3.3 Administrative Boundary

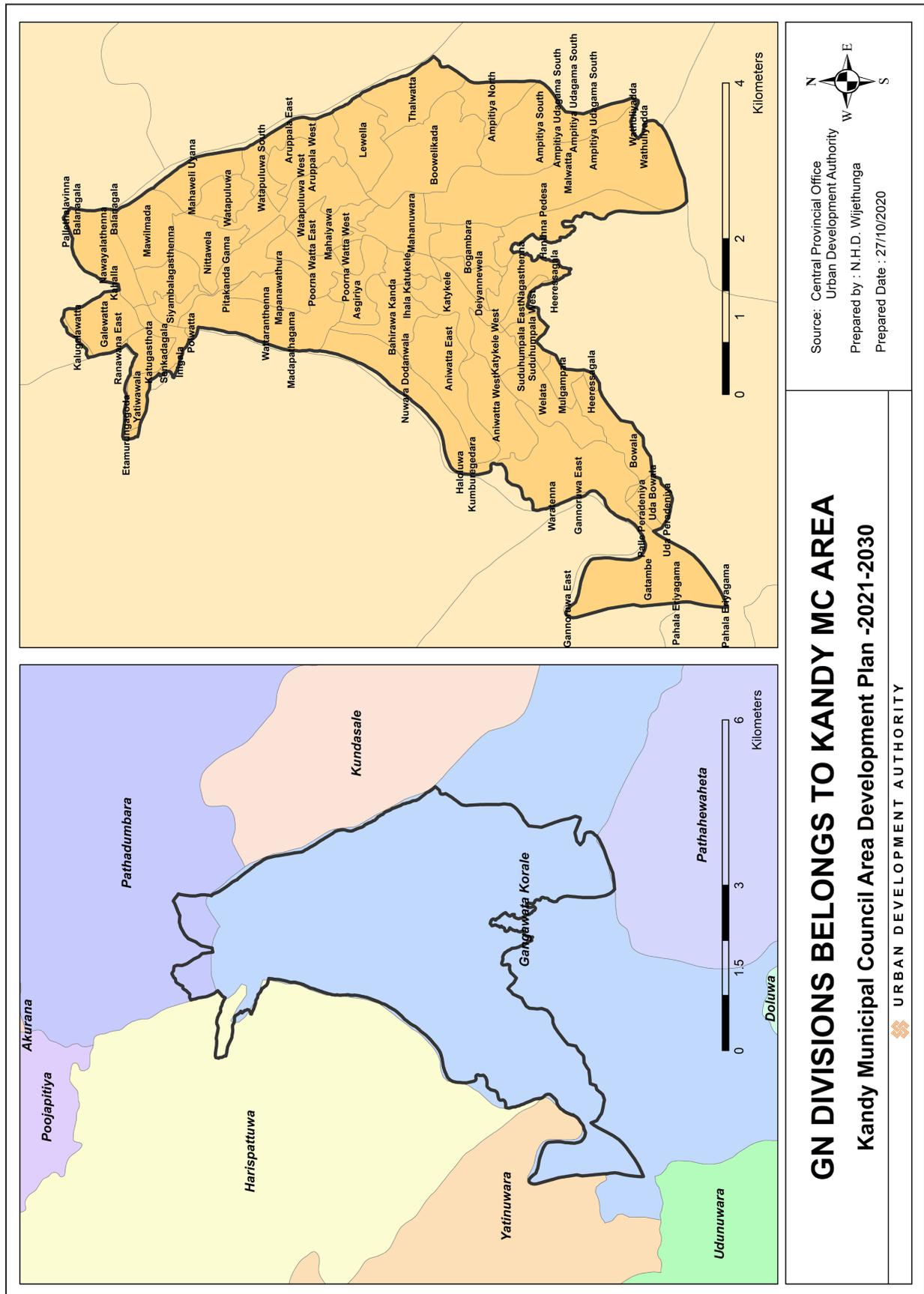
The limit of Kandy Municipal Council area designated as Urban development area and Local Authority area comprises of Kandy four gravattes, and part of Gangawata Korale, part of Harispattuwa DS divisional area & part of Pathadumbara DS divisional including land areas of 46 Grama Niladhari Divisions (GND).

Accordingly, considering all these factors into account, it is decided the boundary of local government limits of Kandy Municipal Council as administrative limits and the Kandy MC boundary as the limit of Kandy Development Plan for the preparation of this development plan.

#### Grama Niladhari Divisions in Planning Area

Ampitiya North	Galewatta	Mapanawathura	Suduhumpala East
Ampitiya South	Gatambe	Mawilmada	Suduhumpala West
Aniwatta East	Hanthna Pedesa	Mulgampala	Thalwatta
Aniwatta West	Ihala Katukele	Nagasthenna	Uda Bowala
Aruppala East	Katugasthota	Nawayalathenna	Watapuluwa
Aruppala West	Katukele	Nittawela	Watapuluwa South
Asgiriya	Katukele West	Nuwara Dodanwala	Watapuluwa West
Bahirawa Kanda	Lewella	Pitakanda Gama	Wattaranthenna
Bogambara	Mahaiyawa	Poorna Watta East	Welata
Boowelikada	Mahanuwara	Poorna Watta West	Yatiwawala
Bowala	Mahaweli Uyana	Senkadagala	
Deiyannewela	Malwatta	Siyambalagasthenna	

Map 2: Boundaries of Kandy Municipal Council area



# Chapter **03**

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## **The Need of the Plan**



## Chapter 03

### The Need of the Plan

The purpose of preparing Kandy Development Plan is to find existing potential of the town and constraints and give solutions to those problems & constraints in furnishing strategic solutions and management of future development thereby provide strategic projects and regulations for economic, social, environment & cultural component of integrity.

A stakeholders meeting has been organized in obtaining views of Town planners and identified stakeholders regarding existing potentials and problems of the town and identified few problems & potentials that had been discussed as per subject areas particular to them at that forum has been considered for preparing the Kandy Development Plan. Few of such identified problems were considerably mobilized in prioritizing development constraints under the method of Delphi Technique. (Annexure 23). Context, magnitude and significance of such identified prioritized constraints had been further studied.

2/3rd of land area of Kandy kingdom consists with Mahaweli River and the rest the range of mountains by natural fortification, later at the time of Kandy Kingdom Dalanda Palace had been built viewing as the way in memorizing the wall of clouds to show as the conception of “Sakvithi Palace”. Dalanda Palace is declared as a sacred site under Extraordinary Gazette No. 301 of 08 June 1984 and subsequently under Extraordinary Gazette No 1209/19 of 08 November 2001 the boundaries of Dalanda Palace were further widen. During the year 1988, Sri Dalanda Palace and the surrounding area with 490 historical & archeological buildings, considering the age of British Empire and their particular architectural importance, the UNESCO Organization has declared as world heritage memories.

Out of 490 historical buildings, 387 or 79% of world heritage buildings are positioned within the sacred area in the Kandy City Centre. As per survey carried out by the Office of the Central Province of the UDA in the year 2017 revealed that architectural characteristics of 40% of world heritage buildings were fully vanished and 60% were partly destroyed.

The factors are due non-maintenance of these buildings, repairing were not carried out in specific standard or methods, the architectural values of buildings have been diminished. Further deterioration was mostly due to without any activity in upstairs of these buildings and application of incompatible colors, usage of ununiformed raw materials and ununiformed billboards tend to demolish the past identity of world heritage buildings.

**Figure 2: Complications associated World Heritage Buildings**

No Activities in Upper Floor



No Renovation



Usage of Informal Sign Board



Usage of Informal Colours



Usage of Informal Raw materials



No Proper Maintenance

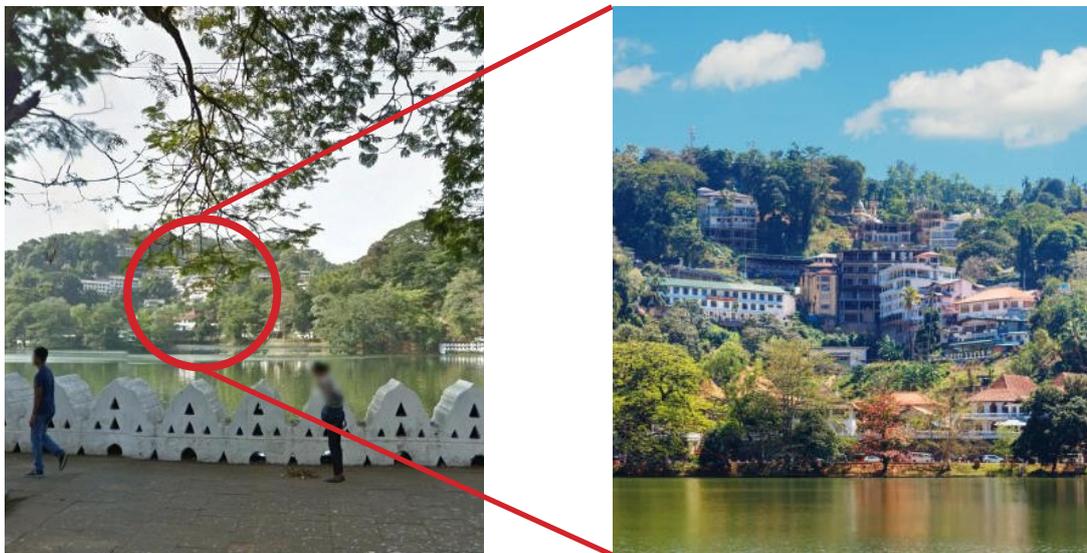


Source: Survey on world heritage buildings – UDA Central Provincial Office Kandy 2018

Within the sacred area zone, world heritage buildings spread over 9 streets and out of which Colombo Street consisted 80% of such buildings, 73% in Kotugodalla Street, 66% in Yatinuwara Street 60% in Kande Street and 92% in Cross Street their structure plus historical & architectural values have been diminished which was revealed by that survey.

When world heritage buildings are taken into account separately, they could not be identified as world heritage buildings through they are all located in the area with the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and green environment in a cool climate. Location of these dilapidated buildings and their additional worsening in the mountainous range bounce misguided appearance to the urban scenery. Further Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and sound surrounding area is a prime & highest sacred place to all Buddhists and swing eye view and a supreme peace & calm. However, with the existing deterioration of historical buildings together their environmental landscape and their inherited identity is gradually diminishing. These factors are properly visible by viewing modern buildings erected on the top of mountain around the Kandy Lake day by day diminishing which could be identified as a threat to the uniqueness of the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and the city.

**Figure 3: Buildings Constructed in mountainous range around the Kandy Lake**



Source: Survey on issues regarding sceneries in Kandy - UDA Central Provincial Office, Kandy 2020

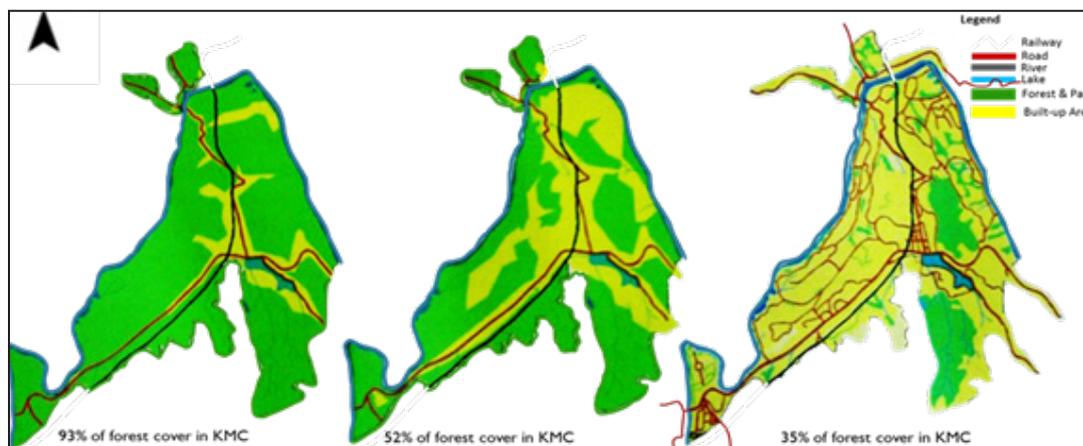
The key problem in the Kandy Town could be identified as the **“Depleting Kandyan heritage image”**.

In properly managing daily arisen development challenges, the reform of heritages image has to be increased tourist attraction and will be inducements to protect own uniqueness of the Kandy City.

Kandy City is its own apparatuses of natural environmental creation. Udawatta Forest and Wakarewatta forest etc. natural forests in the city equipped with the flourished natural diversified biological substances and the expansion of forest area covers about 28 hectares of the entire land area representing around 11% of the entire land. 2/3rd of Kandy town area is circulated the city by Mahaweli River and it is the principal water resource in the town. Kandy Town is situated between 500 – 600 meters above from the mean high water level of the sea where geographical discrepancy expanded in the town and flowing watercourses like Hali Ela, Dunumadalawa Ela, Deniya Ela, Meda Ela, Hul Oya, Pinga Oya etc. start from mountain peaks and flow down feeding Mahaweli River which flows round the town inducing the green equilibrium in the town.

The other main problem is that the existing “Environmental degradation” that has been continued with the raising up developments in whole area of the town. 93% of vegetation coverage prevailed during the time of British rulers of this town has gradually reduced up to 52% at age of getting independence. This percentage has reduced further up to 35% in the later period of independence which has grown into a great threat to the environmental equilibrium of the Kandy City.

**Figure 4: Depletion of Vegetation cover of the Kandy city**



British Colonial Period      Before Independence      After Independence

Source: Kandy Urban Development Study, Department Town and Country Planning, Moratuwa University 2014

Development pressure has been increased due to superseding development targets in the Kandy Urban area (Annexure 21) and parallel to that development activities spread towards environment sensitive areas.

These reasons induced daily improved environment damage in the Kandy Town. Though this is a problem combination of natural environment and built environment gives protection of environment sensibility enabling increase of tourist attraction and also establishing a sustainable environment system.

Kandy city can be introduced as the second largest city in Sri Lanka and provides services as main educational institutions, health and administrative centers of the Central Province. The traffic study done in 2014 revealed that nearly 325,000 commuter population daily arriving to the town where Blessed Dalanda Palace, popular schools, national level hospitals and also many key Administrative Centre's are positioned in the town.

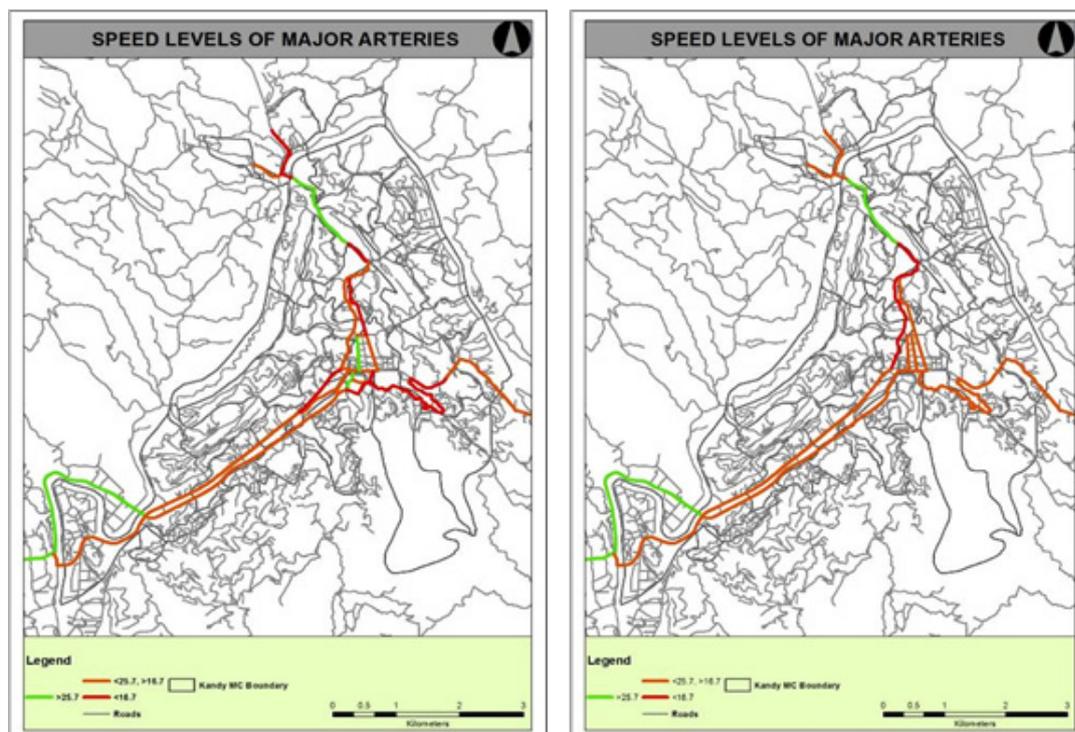
Accordingly, further revealed in that study are, about people of 90,000 (27.7%) for employment, about 63,000 (19.4%) for educational purposes, about 7,500 (2.3%) for health services, about 6,000 (1.8%) for worshipping the Blessed Dalanda Palace, about 2,000 (0.6%) to Kandy Secretariat(Kachcheri), about 25,000 (7.8%) for commercial requirements of the Public Market, about 2,500 (0.8%) for Kandy City Center(KCC) and about 129,000 (39.6%) people are approaching for to Kandy City for other requirements.

Nearly about 56,000 vehicles daily arriving the city from which about 6,720 (12%) are vans, 5,600 (10%) are buses, 7,280 (13%) are good transporting vehicles, 36,400 (65%) as other vehicles can be identified. Thus, a substantial population and also vehicles are approaching to the town can be revealed through this study.

Heavy traffic congestion could be recovered during weekdays and weekends due to geographical positions and also narrowness of existing roads and it also further aggravate during peak hours. The time duration of 6.45 a.m. to 9.30 a.m. speed of vehicles in the road below 16.7km and 25.7 per hour speed are remain. Accordingly, speed of vehicles on roads in around Wewa Road, Katugasthota- Matale Road, D.S Senanayake Mawatha to Mahaiyawa Road and upper limits of Old Peradeniya Road is less than 16.7km per hour.

Speed of vehicles from 1.00 PM to 5.30 PM is less than 16.7 km per hour and also expanded more than 25.7 km per hour. Accordingly, upper limits of Old Peradeniya Road to Mahaiyawa, the vehicle speed is less than 16.7 KM per hour while speed of other roads expanded between 16.7km – 25.7 km per hour.

Figure 5: Vehicle speeds in Kandy City



Source: UDA, Central Provincial Office, Information on Traffic Survey carried out in 2020

The other key problem experiencing could be identified as the “Traffic Congestion”. This make terrible hindrance to people who come & out the city and also ordinary citizen reside in the town. This make tense atmosphere in the town in continuing day to day activities and getting services with in efficiently remain unusual longer period along road create air pollution indirectly with the particular geographical position. At the same time by providing a sound transport service give comfortable environment for people who live in the town as well as migrant who daily proceed to the town for getting daily activities efficiently and also creating comfortable environment.

The identified problems mentioned in this report, affected the development of the Kandy Municipal Council area, if those problems are not addressed properly it might expand further. Since, Kandy city is located extremely environmental sensitive area and the hill country where beginning of all water sources to the all parts of the country as well, if anything happens to its vicinity or its physical characters, it may affect to the whole country. Further, if any damage occurs the uniqueness of Kandy cultural landscape it may cause to reduce tourist attraction and lastly will threaten to the economy of the city itself. Thus, poor infrastructure may be a result of uncomfortable and unpleasant city for the residence of the city and people who are arriving the city as well.

By providing solution to these problems, physical, socio economic, cultural and environmental aspects of Kandy Municipal Area could be achieved which will enable in achieving the vision of “The Glorious Hill Capital”.

# Chapter **04**

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## **The Planning Framework**



## Chapter 04

# The Planning Framework

## 4.1 Vision



**“The Glorious Hill Capital”**

## 4.2 Statement of the Vision

More refined meaning of the three phrases of Hill Country, Glorious and Capital as appropriately explained the vision of “**The Glorious Hill Capital**” under the Development Plan of Kandy Municipal Council.

Hill Country or Senkadagala Town is the last Kingdom as per Sinhalese Chronicle. This Kingdom was protected by range of mountains with natural forest situated at a valley and surrounded by the Mahaweli River comprising cool climate and thus Kandy City is a town circulated by green environment with natural surroundings.

Gloriousness of this town offers religious and cultural values. Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) is covered with a wall of clouds showing as if Palace of Kuwera or a Palace of Shakkradevendra known as Alakamandawa. This is a creation of magnificence. Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and environmental landscape, Kandyan architecture and related buildings are known as tangible heritage arts and intangible heritage arts like Dalanda Procession etc. will raise the Grandeur city of Kandyan City, thus Majestic city means delineate all tangible and intangible heritage images.

The Capital City mean that daily developing public requirements and service requirements provided urban service center and self-sufficient economic entity call a city. Hence Capital City means the biggest city of the Central Province with a self-sufficient economy of the Central Province providing services of public favorable.

Mountainous ranges like Hanthana, Bahirawakanda and Primrose and also forest of Udawaththa Reservation, Wakarawaththa etc. are typical creations of natural environment. This town presently needs the protection of green environment since the town is seriously facing environmental threat. The Mahaweli River flows around the town while water flows towards the river from number of small streams which preserve the environment equilibrium and presently face with problematic reasons thereby a requirement to preserve hydrological environment. Hence the vision of Kandy Development Plan emphasis an “**Emerald Environment**” through environment protection and conservation.

Further Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and geographical scenery and its vicinity, consisting of historical & architectural characteristic of building architecture etc. inherited from Kandy kingdom is a Centre of tourists. With the development trends existed presently diminish those heritages and thereby is a prime need for protection and conservation such heritages. Therefore, the vision of this development plan clearly emphasizes that “**Image of Kandyan Heritage**” should be to improve and protect the uniqueness of the Kandy City.

When guiding the Kandy city socio- economic, environment, cultural and historical values, this town became an attention of lot of people in the local and foreign and also arriving of large number of people who come to the town for getting services. This creates lot of constraints with regard to the infrastructure facilities in the town, traffic congestion and improper process of urban activities; hence emphasis has been focused that “**Comfortable Living**” pattern should be provided for urban occupants as well as migrants who come to the town under the vision of Kandy Development Plan.

Kandy city is its own resources and Centre of tourists of local and foreign and there is also an opportunity to attract tourists with the green environment including cool climate inherited cultural background and consists of services. There is an opportunity to construct a Market Center in the Kandy Town enabling Kandyan arts, Handy crafts and other small scale domestic products could be made available as from the Kandyan age and hence emphasis has been focused in replacing for utilizing available resources by ignoring impact of existing constraints for the economy and should be created “**Self-Sustained Economy**” under the vision of Kandy Development Plan.

The simple meaning of the Kandy Development Plan reflects glorious appearance of Senkadagala conduit with wall of clouds and palace like Alakamandawa, Divine or milky sea with wall of water waves, greenery surrounded cultural and environmental landscape rejuvenation with the proper management through social coordination and self-sustained economy through physical development.

## 4.3 Goals

- Goal 01 Enhance the “Kandyan Heritage Image” to protect the uniqueness of city.
- Goal 02 Create “Emerald Environment” through the harmony between natural man-made environment.
- Goal 03 Enhancement the efficient of urban services for the “Comfortable Living” of inhabitation and city users.
- Goal 04 Utilization of existing resources to make the “Self-Sustained Economy” of the city.

Goals

Objectives

## 4.4 Objectives

### Objectives of the Goal 01

#### Goal 01

**Enhance the “Kandyan Heritage Image” to protect the uniqueness of city**

- I. Conservation of 100% heritage buildings in heritage area by 2030.
- II. Creating an environment of compatible uses to regenerate the Glory of the world heritage area by 2030.
- III. Regenerate the world heritage area to emerge the cultural landscape and as a place where cultural events take place by 2030.
- IV. Restoration of heritage area to enhance the heritage value from improving the landscape characteristics by 2030.

### Objectives of the Goal 02

#### Goal 02

**Create “Emerald Environment” through the harmony between natural man-made environment.**

- I. Existing Incensement of green coverage in municipality area from 35% to 50% by 2030.
- II. Restriction of development activities to identified corridor from Peradeniya to Katugasthota by 2030.

- III. Conservation of 1/3 of mountainous range of upper limit, in preserving town scenery within Kandy town in the year 2030.
- IV. Improve the water quality and continuity of water flow in Kandy city by 2030.
- V. Develop the physical infrastructure of planning area from Peradeniya to Katugasthota development corridor by 2030.

### Objectives of the Goal 03

#### Goal 03

**Enhancement the efficient of urban services for the “Comfortable Living” of inhabitation and city users.**

- I. Inter connect the Gatambe, Katugasthota and Thannekumbura three Satellite clusters through establishment of Multi-Modal Transport Terminals by 2030.
- II. Improvement of infrastructure facilities in between Peradeniya and Katugasthota satellite cities by 2030 to improve public transport facilities.
- III. Develop Peradeniya Town as a specialized town center with higher education, health & research concerned town in the year 2030.
- IV. Allocate 130 ha of lands as network of parks and green spaces for public and recreation facilities by 2030.
- V. Upgrade the underserved settlements scattered in 80 Acre of lands as standard housing units to upgrade the living condition of the residents by the year of 2030.
- VI. Surveying the happiness and satisfaction of city users and dwellers in each 5-year time period.

### Objectives of the Goal 04

#### Goal 04

**Utilization of existing resources to make the “Self-Sustained Economy” of the city.**

- I. Create a market place at heritage area zone as a catalyst to boost small and medium cottage industries in Kandy by 2030.
- II. Provide facilities and activities for tourists to increase the occupancy rate by 86%.

III. Mobilization of 46 ha of underutilized lands for development activities in the year 2030.

Chapter

**05**

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**SWOT Analysis  
and Summary of  
Detailed Analysis**



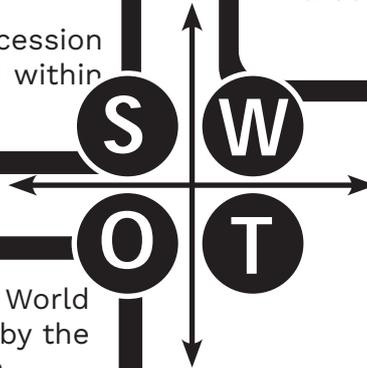
## Chapter 05

# SWOT Analysis and Summary of Detailed Analysis

**Goal 01: Enhance the “Kandyan Heritage Image” to protect the uniqueness of city.**

1. Position of the world’s respected Palace of Sri Dalanda Maligawa (Blessed Tooth Relic) is in the center of the town.
2. Setting of 490 World Heritage architectural and archeological valued buildings centered in the Kandy town.
3. 49% income earn from tourist industries sector in the Cultural Triangle.
4. Expansion of Identical architectural characteristic buildings in distinct time frame.
5. Annual Esala Procession (Perahara) performed within the Kandy Town.

1. Gradual deterioration of architectural characters of World Heritage Buildings.
2. Insufficient reinforced legal framework for the conservation of World Heritage Buildings.
3. Creation of unsuitable environment due to inappropriate usages in historical town center zone.
4. High demand for the construction surrounding Maligawa and Kandy lake around area.



1. Declared as a World Heritage city in 1988 by the UNESCO Organization.
2. Implementation of few heritage conservation concern projects on national priority.
3. Declaration of Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and surrounding area as sacred area.

## A. Strengths

### 1. Position of the world's respected Palace of Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) is in the center of the town

Uniqueness of the Kandy Town rested upon the Palace of Sri Dalanda Maligawa (Palace of Blessed Tooth Relic). It was a unique creation done by Hon Devendra Mulacharya, Head Architect with the invitation of King Keerthi Sri Rajasinghe. This Palace is a supreme unique entity. Conduit (water canal) with a wall of clouds and palace like Alawaka Mandawa, Divined or milky sea with wall of water waves, greenery surrounded cultural and environmental landscape visible the Pattiruppuwa which has proved then architectural structure and its uniqueness. Location of Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) within the town center can be identified as an exceptional strength indeed.

**Figure 6: Premises of Sri Dalanda Maligawa**

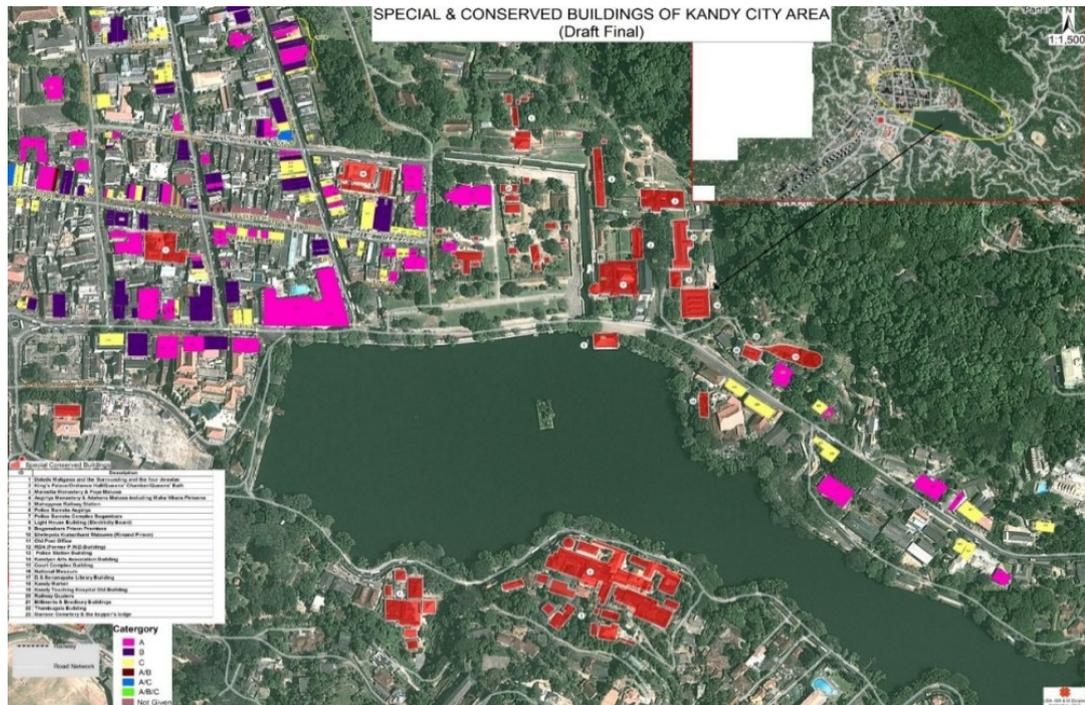


Source: Field inspections - Urban Development authority, Central Provincial Office 2020

### 2. Setting of 490 World Heritage architectural and archeological valued buildings centered in the Kandy town

In considering architectural, archeological and also historical valued 490 world heritage buildings are identified by the institutions such as Kandy Municipal Council, UDA, Central Cultural Fund and the Department of Archeology declared by Extraordinary Gazette No.1290/01 of 27th April, 2003 and implemented on 26th May 2003 by declaring through the Kandy Municipal Area Development Plan of 2002-2016. Such buildings were gazette by the Department of Archeology vide extraordinary gazette No of 1401 dated 08th July 2005 wherein 104 archeological buildings among them are special historical valued.

**Figure 7: Conserved World Heritage buildings**



Source: UDA, Central Provincial Office 2020

### 3. 49% income earn from tourist industries sector in the Cultural Triangle

Kandy town and surrounding world heritage area has been gained main focused within the Cultural Tringle which was established centering Anuradhapura, Polonnaruwa and Kandy. As per Statistical data of 2016 publicized by the Sri Lanka Tourism Development Authority, the annual income generated from the service sector of Tourism industry revealed that 49.25% annual income was the highest source of income of world heritage towns in that year

**Table 1: Income generated from the service sector of tourism industry in 2016**

Source of Income	Income (Rs.m)	%
Cultural Triangle	3363.3	49.25
Wildlife Sanctuaries	1445.9	21.17
Zoo	841.1	12.32
Botanical Gardens	594.3	8.7
BMICH	551.4	8.07
Museums	33.6	0.49
Total	6829.6	100

Source: Sri Lanka Tourist Development Authority – 2016

#### 4. Spreading out of identical architectural characteristic buildings in distinct time frame

These identified world heritage buildings belong to periods of British, Portuguese, Dutch, upcountry and Gothic and Sri Lankan Origination could be branded as combination of many architectural characteristic buildings in this town.

**Figure 8: Buildings with Very Special Architectural Characters**

Post Office Building - British Origin



Police Head Quarters, Kandy



Ehalepola Walawwa – Kandyan Origin



Ceremonial Building (Magul Maduwa)



Source: Field inspections, Urban Development authority, Central Provincial Office, 2020

#### 5. Annual Esala Procession (Perahara) performed within the Kandy Town

Senkadagala Esala Procession is important in Kandy town and it also a unique cultural event in Sri Lanka. This Esala Procession is organized by the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and for great four Dewala, of which Dalanda Procession is the main Procession. Other processions are Natha Dewala Perahara, Vishnu Dewala Perahara, Katharagama Dewala Perahara and Paththini Dewala Perahara. go along streets as other processions. The main procession included Inner procession, Kumbal Procession, Randoli Procession and Daytime Procession can be identified and occupying in the month of Nikini. During the time of these processions migrant population will increase nearly from 200,000 to 300,000. Thus, this Esala Procession performed a unique opportunity in the Kandy town.

**Figure 9: Kandy Esala Procession**



Source: FOS Media Student Blog Faculty of Science, University of Colombo

## **B. Weaknesses**

### **1. Gradual deterioration of architectural characters of World Heritage Buildings**

Considering architectural & archeological values of World Heritage Buildings, it was categorized as A Grade, B Grade, C Grade and D Grade though at present its existing architectural and archeological characters are being decayed. Allegation of modern architectural characteristics, improper modernization of some archeological buildings and improper maintenance has diminished the architectural character of these buildings. Further name boards on some world heritage buildings and their colors, used raw materials and some changes done inside the buildings are further deteriorated of their real characters of architecture and archeology.

**Figure 10: Gradual Deterioration of Architectural Characters of World Heritage Buildings**



Source: Field survey of Archeological Buildings - UDA, Central Provincial Office, Kandy 2020

As per survey done regarding world heritage building in 2017 by the UDA the declined buildings and the buildings which are being declined were identified and percentages values are as follows

**Table 2: Amount of Declined Buildings as per World Heritage Buildings Survey**

Locations of the Buildings	A	A	B	B	C	C	D	D	Total Buildings	Amount of Declined Buildings and %
Colombo Street	33	21	30	25	33	30	12	12	109	88 (80%)
Kotugodalla Veediya	12	8	23	15	11	10	3	3	49	36 (73%)
Yatinuwara Veediya	4	3	16	10	5	3	2	2	27	18 (66%)
Kande Veediya	1	1	4	2	3	1	2	2	10	6 (60%)
Cross Street	2	2	7	7	3	2	1	1	13	12 (92%)
Deva Veediya	13	8	3	2	2	1	0	0	18	11 (61%)

 Number of Declined Buildings

Source: Field survey of Archeological Buildings - UDA, Central Province Office, Kandy, 2017

## 2. Insufficient reinforced legal framework for the conservation of World Heritage Buildings

Sri Dalanda Maligawa (Blessed Tooth Relic) and surrounding area has been declared as sacred area under Extraordinary Gazette No 301 of 8th June 1984 and further extended their frontiers vide Extraordinary Gazette No 1209/19 of 8th November 2001. Conservation of buildings could not be done, though the conservation had been gazette twice and hence only a list of names of architectural buildings was given in the Kandy City Development Plan for 2002 - 2016 which can be identified as a weakness.

### 3. Creation of unsuitable environment due to inappropriate usages in historical town center zone

Existing usages could be recognized as commercial, residential, institutional, religious, educational and other in these cross streets in the city.

Table 3: Uses within Historical Core of the City

Usage	Amount of Buildings	%
Commercial Uses	317	65%
Residential Uses	110	22.5%
Institutional Uses	28	5.5%
Religious Uses	14	3%
Educational Uses	8	1.5%
Other Uses	13	2.5%
Total	490	100

Source: Field survey of Archeological Buildings – 2018

Accordingly, 65% of land area is used for commercial use. But there is unsuitable turbulent environment and traffic congestion due to inappropriate vehicle parks in this area. There were 2,585 vehicle parks in the town center as per transport study done in 2014 regarding Kandy and associated area of which about 825 parks are along roads. It is also understood that 18% of these parks or 118 parks remain there for more than 8 hours while other vehicles remained between 30-105 minutes' time duration.

Thus, lack of vehicle parking for commercial users, location of large number of world heritage buildings and inability of providing vehicle parks of this area, these streets became an unsuitable turbulent condition.

Figure 11: Fussy background created in cross street



Source: Draft development Plan of Greater Kandy city, UDA, Central Provincial Office, Kandy

#### **4. High demand for the construction surrounding Maligawa and Kandy lake around area**

There is huge demand for the usage of star type hotels, restaurants and holiday resorts with the geographical pleasing environment and beauty of the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and Kandy lake (Nuwara Wewa). Due to these reasons, land values of the area have gone up and increased between Rs 05 million to Rs 06 million per perch. However, it is identified as a weakness since these constructions would heavily damage the environmental & geographical scene around land area of Kandy Lake.

**Figure 12: Haphazard Structures around the Kandy Lake**



Source: Field survey - UDA, Central Provincial Office, Kandy, 2020

### **C. Opportunities**

#### **1. Declared as a World Heritage City in 1988 by the UNESCO Organization**

Kandy city has been declared as a world heritage city in 1988 by the UNESCO Organization considering archeological values, architectural values, cultural values, construction techniques, raw material techniques, interior utilization, present usage of the building, coherent and culture of the building, content and purity of the buildings, 490 buildings with those characters has been confirmed as world heritage buildings. This is a unique opportunity of the Kandy city.

## **2. Implementation of few heritage conservations concerned projects on national priority**

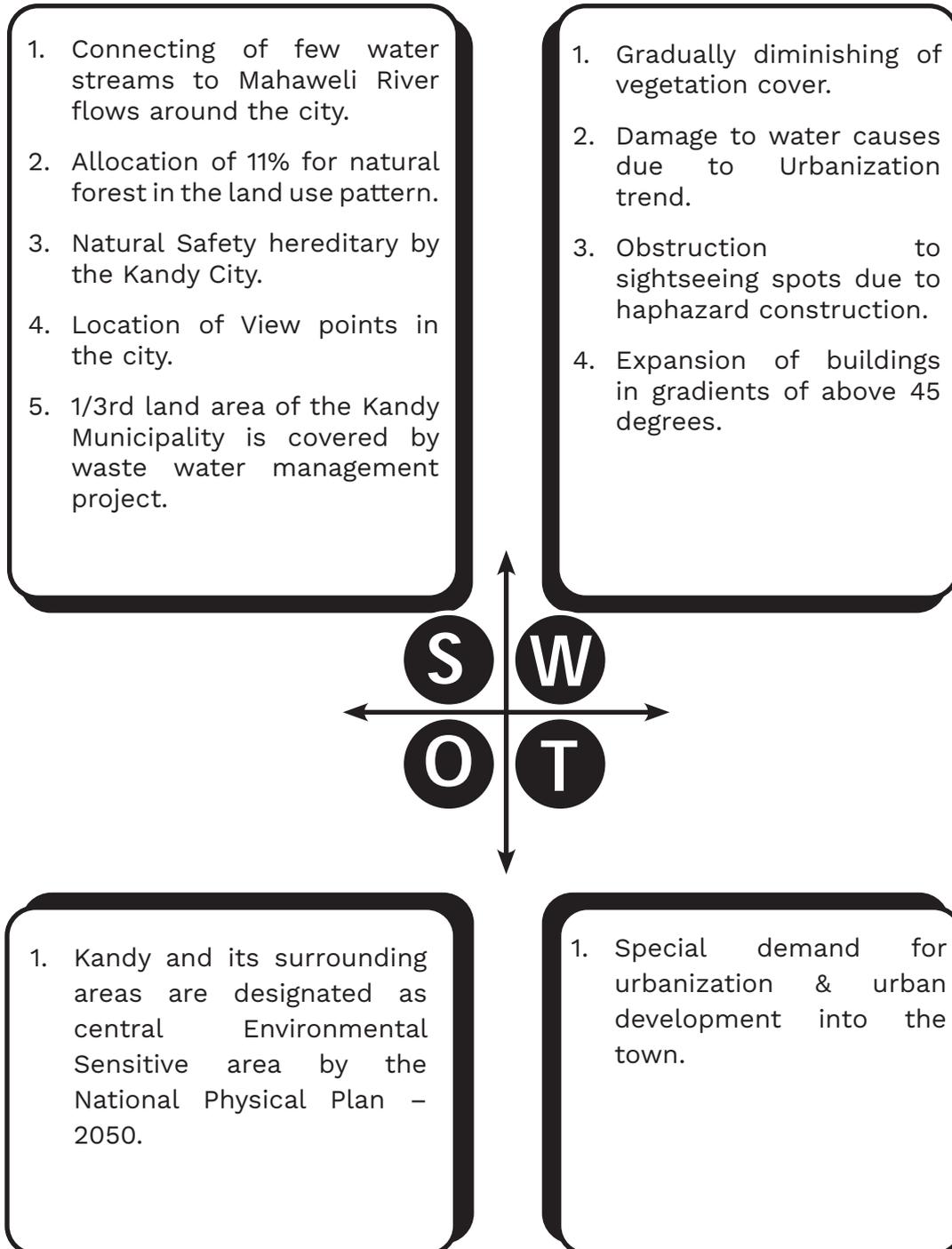
Presently some heritage buildings have been conserved as special conservation projects and few other buildings which are nationally important identified for future conservation projects. Accordingly, Clock inn building, premises No 41,43 and 45 buildings located on cross streets, Giragama Manor House, Bake House building, Oak-ray building, Old Empire building, Queens hotel, Cafe Chalk building etc. could be acknowledged.

Bogambara prison, Ehalepola Walawwa and Lawyers' office building of world heritage buildings has been identified as national important projects. Presently, action has been to conserve world heritage buildings & tend to reserve unique equilibrium of world heritage city.

## **3. Declaration of Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and surrounding area as sacred area**

Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and surrounding area has been declared as sacred area under Extraordinary Gazette No 301 of 8th June 1984 and further extended the boundaries vide Extraordinary Gazette No 1209/19 of 8th November 2001. These declarations provide identical values to this area.

## Goal 02 : Creation of green environment through combination of natural environment and built environment

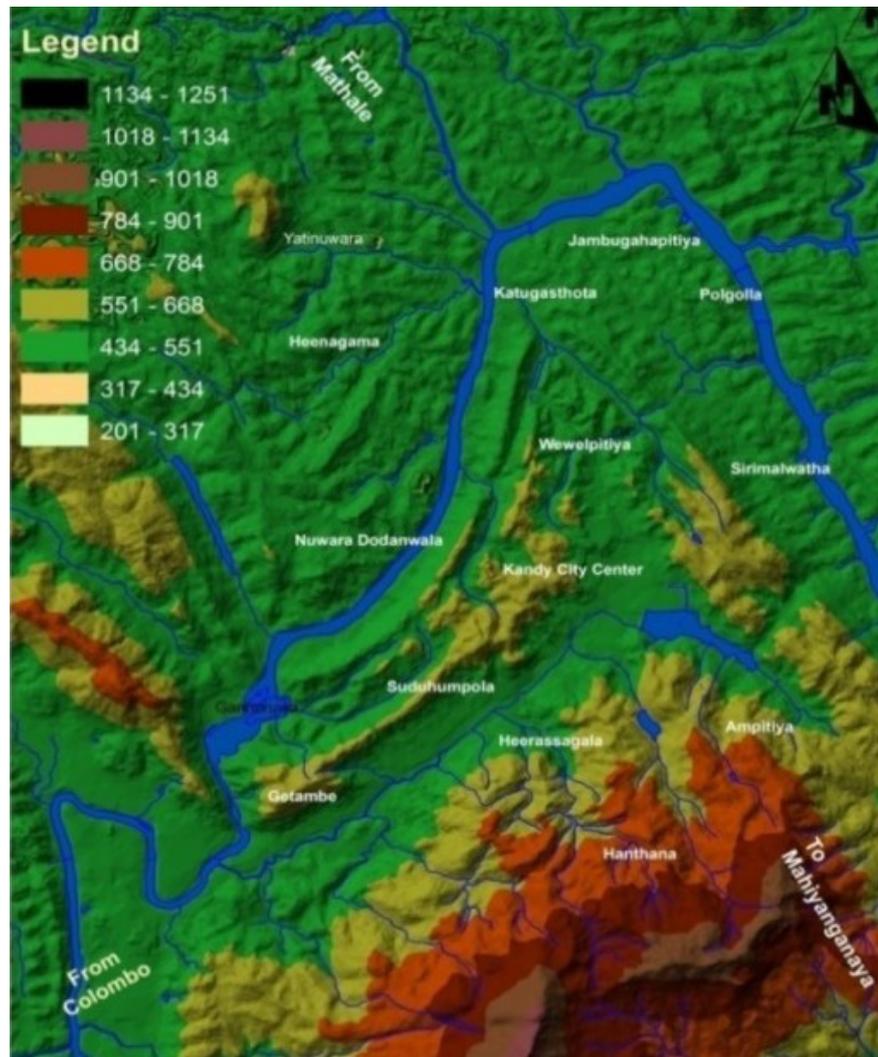


## A. Strengths

### 1. Connecting of water streams to Mahaweli River flows around the city

An environment status has been created with combination of water sources in considering the hydrology and geographical sciences in order to preserve the environment equilibrium, river branches of Hali Ela valley, Meda Ela valley, Heenpankadura Ela, Heenpankadura valley are joined properly to the Mahaweli river in the town further Dunumadalawa Ela flows Kandy town center, Siyabalan Ela, Deniya Ela, Dange Ela, Ellawala Ela, Meda Ela, Heenpankadura Ela, Hal oya, Pusiya oya and Pinga oya are other water sources feeding to Mahaweli river, out of total land area, 4.3% consist of water area and in order to protect the environment equilibrium of the town center and they are subjected for feeding the Mahaweli river.

Figure 13: Flowing of Main Water Sources across the Kandy City

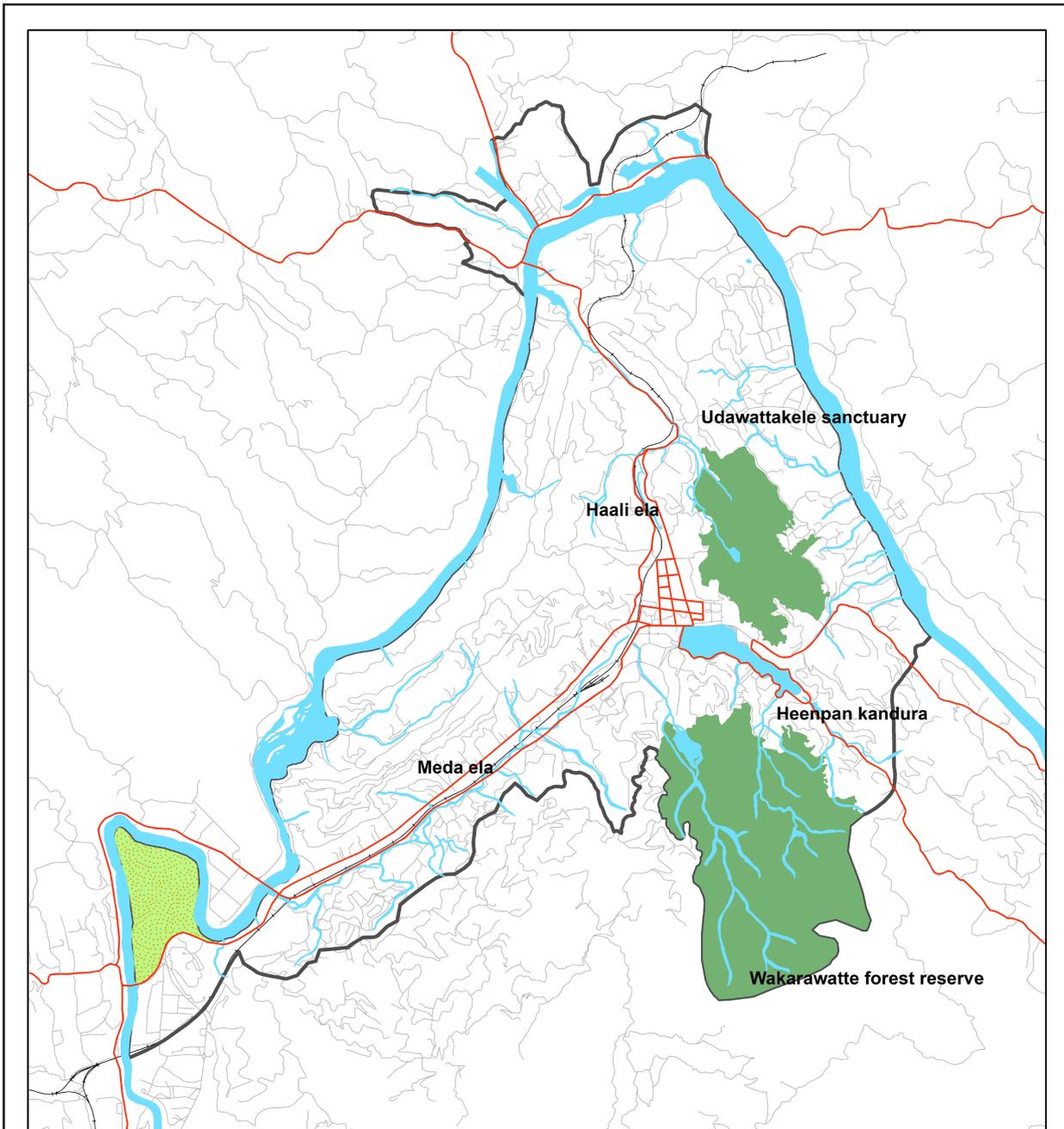


Source: Draft Development Plan 2030 for Greater Kandy, UDA, Central Provincial Office, Kandy

## **2. Allocation of 11% for natural forest in the land use pattern**

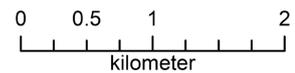
Udawaththa Reservation and Wakare watta Forest are used to feed water sources which flow around the town consisting 282 hectares expanded. This land area covers 11% present of the total land use and many tourist and environmental friendly people visits these lands, there are inherited endemic vegetation and organisms are visible and also about 80 types of endemic birds are reported to be living in the Udawaththa Reservation. That is the superior identical values inherited the Kandy city.

**Map 3: Forest coverage of the Kandy City**



**Legend**

- Main roads
- Other roads
- + Railway line
- Municipal council boundary
- Peradeniya botanical garden
- Conserved Forest
- Water sources



**DISTRIBUTION OF FOREST AND WATER NETWORK**

Kandy Municipal Council Area Development Plan -2021-2030

**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority

Prepared by : N.H.D. Wijethunga

Prepared Date : 27/10/2020

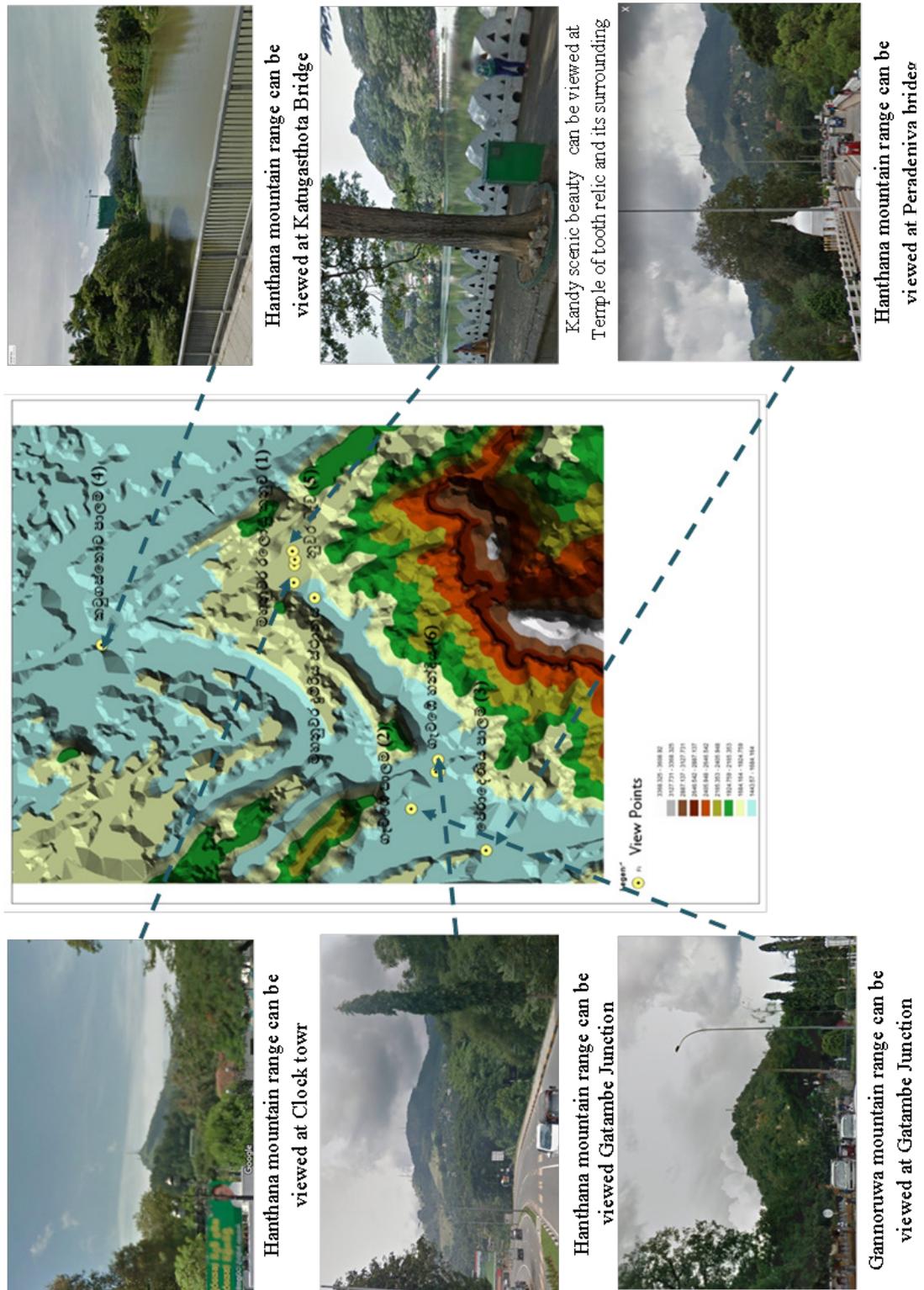
### **3. Natural Safety hereditary by the Kandy City**

Kandy is belonged to Central hilly area of the country as per its character of topography. Kandy is surrounded 2/3rd of land area of the Kandy municipality covered by Mahaweli river; south portion is covered by the range of Hanthana Mountains. Kandy district is located in a mountainous range and Kandy city is in a narrow basin. Kandy cities were positioned between 500 meters and 600 meters above from the sea level. According to the geological combination of this area it belonged to Pre-Cambrian era, highland consists of Quartz, Feldspar, Garnet, Quartzite and Sillimanite. Accordingly, natural safety is assured certainly to this town.

### **4. Location of View points in the city**

Natural beauty of the town has been increased locating Hanthana, Bahirawa Kanda, and Gannoruwa mountainous ranges and the its beauty visible by walking through the city. Katugasthota Bridge, Kandy Clock Tower, Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), Kandy Lake around, Kandy Railway Station, Bridges namely Gatambe & Peradeniya are some viewed settings or sceneries in the town. These are extended all along the town would make possible in attracting tourists who visit the town and it also enrich the uniqueness of the town. Formation of these natural beauties can be identified as a unique value to the city

Figure 14: Viewpoints of Kandy city limit:



Source: Filed Survey, Urban Development Authority, Central Provincial Office-Kandy 2020

## **5. 1/3rd land area of the Kandy Municipality is covered by waste water management project**

A proposal for implementation is being processed covering 1/3rd portion of Kandy Municipality for the purpose of sewerage and effluent management project covering 733 hectares of land catering 150,000 migrant population, providing 512 toilets for low income communities of 55,000 persons and business & commercial buildings of 12,600. This project covers entirely 10 number of Grama Niladarai Divisions and cover 16 number of parts of Grama Niladarai Divisions. This project has to be completed in the year 2019 and purification is to be done a capacity of 14,000 cubic meters through the Gannoruwa purification plant. Further proposed Meda Ela reconstruction project will develop environmental sensibility of the town area and that is also a privilege of this town.

## **B. Weaknesses**

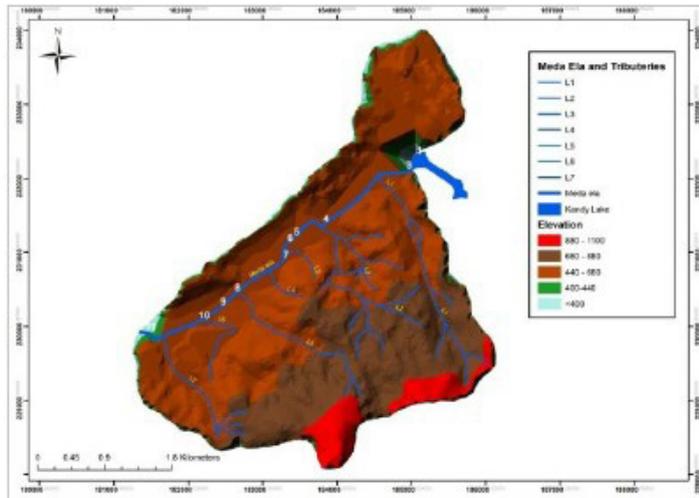
### **1. Gradually diminishing of vegetation cover**

Though all areas were covered with forest apart from Asgiri Vihara, Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and surroundings, Ampitiya and Watapuluwa area etc. were expanded with residential entities at the time of Kandyan Kingdom. Vegetation expansion has been diminished with the gradually residential expansion and also with the urbanization. Vegetation density of 93% during the British Colonial Period has been declined to 52% prior to the Independence. This has been further reduced to 35% after Independence and could be known as the biggest threat to Kandy Environmental Equilibrium.

### **2. Damage to water causes due to Urbanization trend**

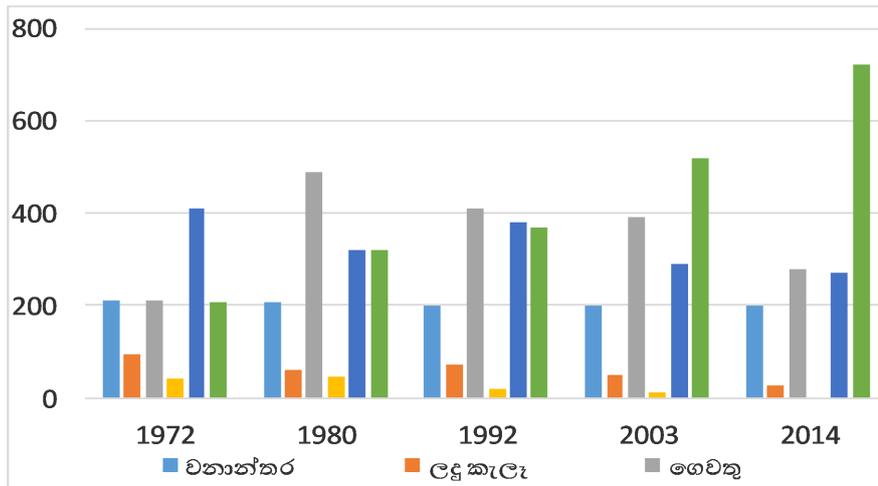
There are few water sources flow through Kandy city which are presently facing a big threat and due to development activities at water feeding areas and also adding effluent & solid waste to water sources. Directing sewerage lines to water sources together with informal constructions obstructing canals could be further identified and visible largely in the Kandy town. There is a high demand for lands in the town with the supply of education, health and other services satisfactory would give high land values and hence it is visible that reservation of canal, railway reservation are mobilized by the middle class people in putting up their own commercial entities & dwellings along water feeding areas could be largely visible. Haphazard developments in reservation areas is an unbearable problem in this town.

**Figure 15: Catchment Area of Meda Ela**



Source: Impact of social and environment due to pollution of natural water sources, Meda Ela Sri Lanka, 2020

**Figure 16: Changing of Land Use Pattern Surrounding Meda Ela Area**



- Forest
- Scrub
- Home Garden
- Paddy
- Agriculture
- Built-up area

Source: Impact of social and environment due to pollution of natural water sources, Meda Ela Sri Lanka, 2020

**Table 4: Changing of Land Use Pattern Surrounding Meda Ela Area**

Land Use Category	Transformation rate from 1972 to 2020
Forest	-4.76%
Scrubs	-26.30%
Home Gardens	38.09%
Paddy Fields	-100%
Plantation Areas	-34.40%
Urban Areas	251.20%

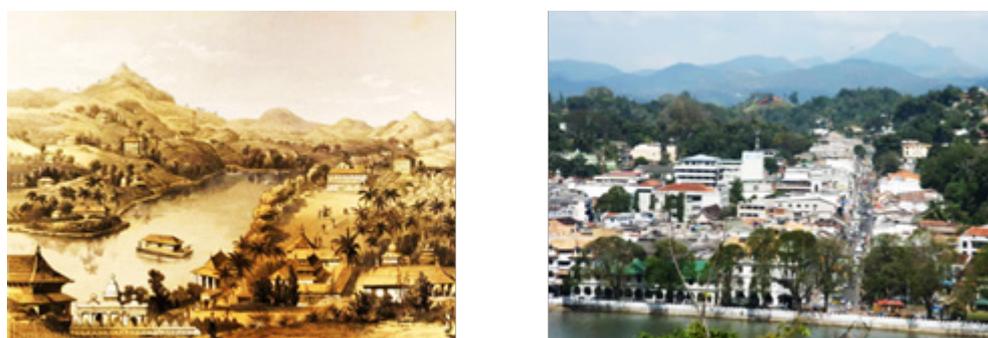
Source: Impact of social and environment due to pollution of natural water sources, Meda Ela Sri Lanka, 2020

In observing land use pattern for the period of 1972 to 2020 the forest, shrub jungle, paddy and agricultural lands had been decreased and it has increased for home gardens and urban areas as per above study. Those factors cause for the damage of water sources and give impact for city natural beauty and also central environmental sensible area which could be identified as a weakness of Kandy town.

### 3. Obstruction to sightseeing spots due to haphazard construction

There are few places within the Kandy city for sightseeing of natural and improving variegation. They are Katugasthota Bridge, Kandy Clock Tower, Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), Premises of Kandy Lake, Kandy Railway Station, Gatambe and Peradeniya Bridges etc. Haphazard development will damage the environment of sightseeing spots of mountain ranges and which spoiled the environmental equilibrium and also threat to cities uniqueness.

**Figure 17: Past and Present Appearance of Kandy city**



Source: <https://lankapura.com> , Filed Survey, 2020

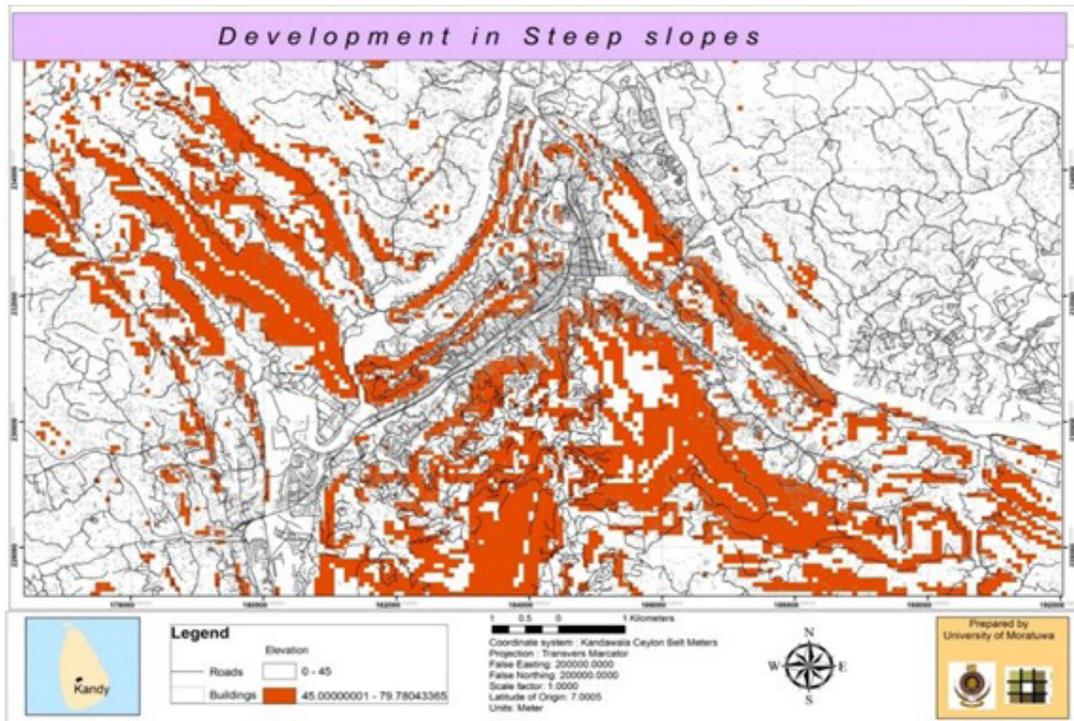
#### 4. Expansion of Buildings in Gradients of above 45 degrees

In observing Kandy city's geographical setting, town is positioned nearby 500 - 600 meters from the sea level. Accordingly, there are developments occur, residential expansion is being spread towards mountainous areas. This makes an obstacle to City's environment equilibrium and also its aesthetic beauty.

In looking at areas of Kandy city & surroundings; construction has been extended in areas which are even in gradient of above 45 degrees. It was the cause for the dispersion of development towards mountainous areas.

Kandy town is located in the central environment region. The development activities tend to extend towards hilly area which is a problem and also environment threat to the Kandy City.

**Figure 18: Scattered Buildings on Slop Areas more than 45-degrees**



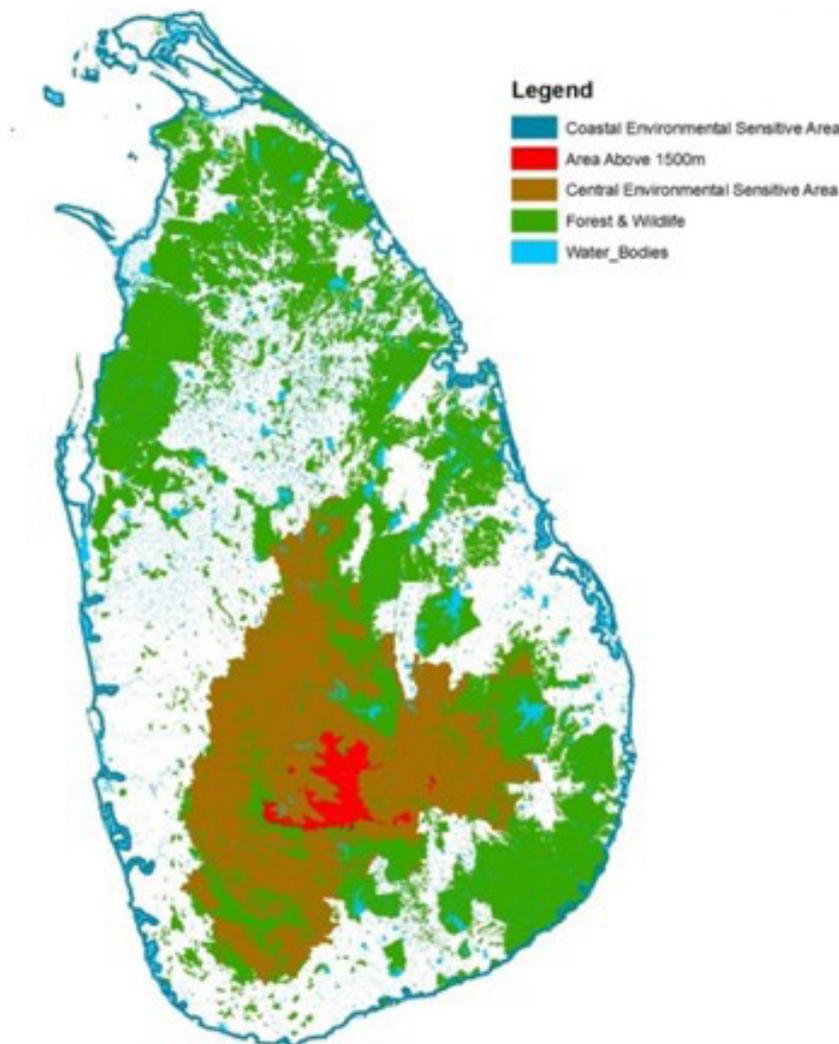
Source: Department of Town & Country Planning, University of Moratuwa – 2013

## C. Opportunities

### 1. Kandy and its surrounding areas are designated as Central Environmental Sensitive Area by the National Physical Plan - 2050

Land areas above 300 meters from the sea level are identified as Central Environmental Sensitive Area as per the National Physical Plan of 2050. The 2050 National Physical Plan has been limited the projected population up to 700,000 within the Kandy Metro Region Area. The rivers, canals & streams flow towards preserving water feeding regions discourage large scale development projects and residential expansion in this region. Accordingly; it is a privilege into this town for insisting under the National Physical Plan, Kandy city is rich with rivers, canals, streams and water sources its largely spread out City.

Figure 19: Environmental Sensitive Zones of Sri Lanka



Source: National Physical Plan - 2050 – National Physical Planning Department

## D. Threats

### 1. Special demand for urbanization & urban development into the town

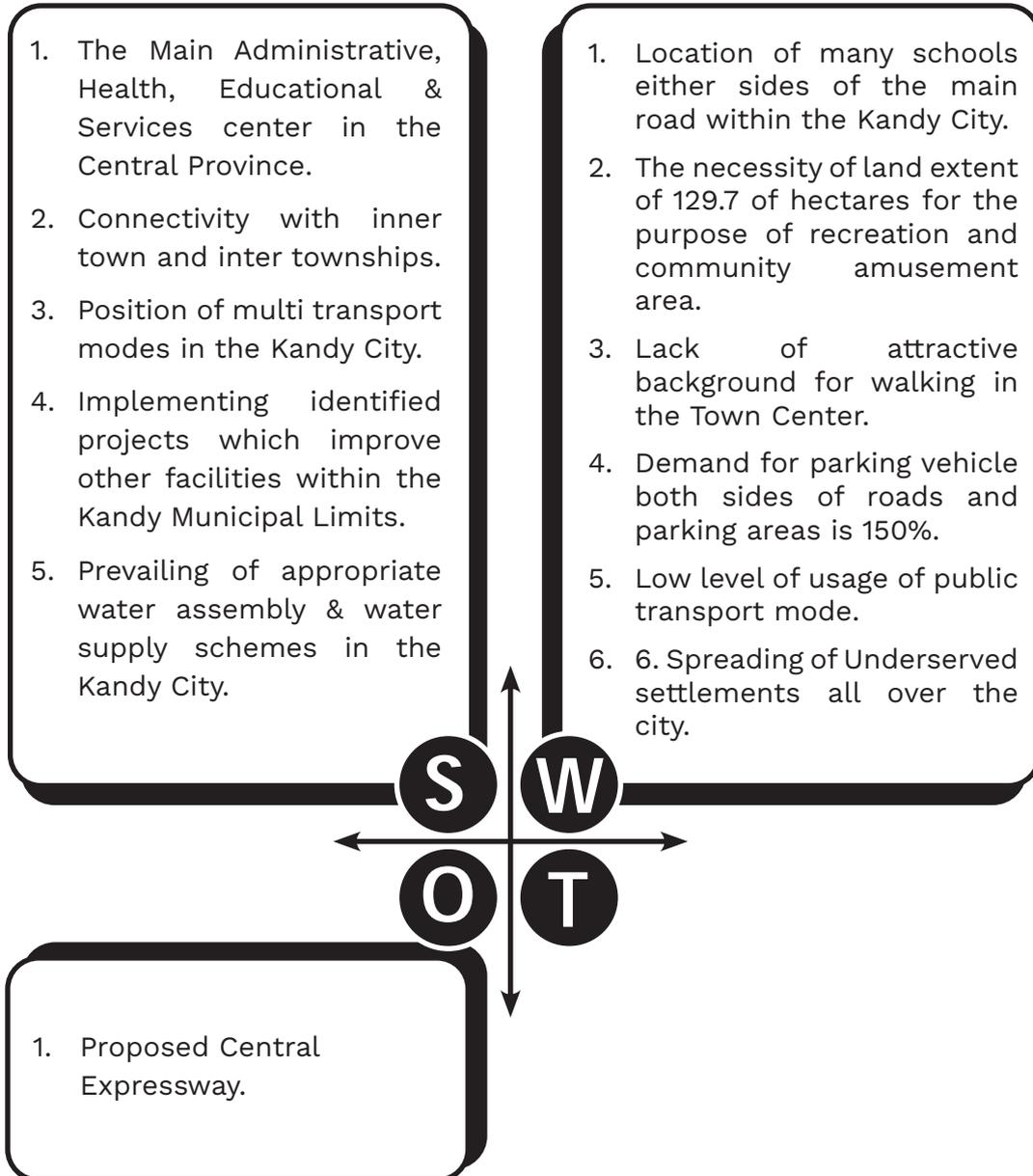
Attraction of foreigners with the supremacy of the town as well as an attraction of entrepreneurs; for investment in the event of attraction to the town. With the future vision according to the National Physical Plan, large scale development activities will be limited in the town. However high demand with regards to land subdivisions & construction of buildings in areas declared under Urban Development Authority in the district and high demand for residential development within the Kandy City can be identified as a threat to environment sensibility

**Table 5: Sub Divisions & Building Applications Received by UDA (CP) in 2017**

Local Authority	%	Local Authority	%	Local Authority	%
Kandy MC	52.52	Wattegama UC	0.94	Pathahewahata PS	2.52
Gangawata Korale PS	21.07	Pathadumbara PS	1.52	Gampola UC	2.2
Kundasale PS	4.72	Thumpane PS	2.2	Nawalapitiya UC	0.63
Harispsttuwa PS	4.08	Udunuwara PS	0.94	Kadugannawa UC	1.89
Akurana PS	1.26	Yatinuwara PS	2.83	Udaplalatha PS	0.63

Source: UDA, Central Provincial Office, Kandy – 2017

**Goal 03: Provision of comfortable facilities for residents and commuters of the town in a way for process of efficiency in the direction of urban activities.**



## **A. Strengths**

### **1. The Main Administrative, Health, Educational & Services center in the Central Province**

Kandy General Hospital is the 2nd largest hospital in Sri Lanka and it has provided services to many people. In addition, substantial health facilities are given to the people through Peradeniya Teaching Hospital, Peradeniya Sirimawo Bandaranaike Children's Hospital, Peradeniya Dental Hospital, Peradeniya Chest Hospital and Katugasthota Divisional Hospital. Kandy General Hospital consists of 78 wards and nearly 2,200 beds in 2016 and has been increased up to 2,300 beds in the year 2017 where 400,000 outdoor patients & around 200,000 indoor patients are getting treatment. There are 14 Ayurveda dispensaries provided services in the town by Ayurveda Sector. Kandy General Hospital is equipped with all segments and many people from the country daily reaching to this hospital for treatments and it could be estimated about 7,500 patients per day.

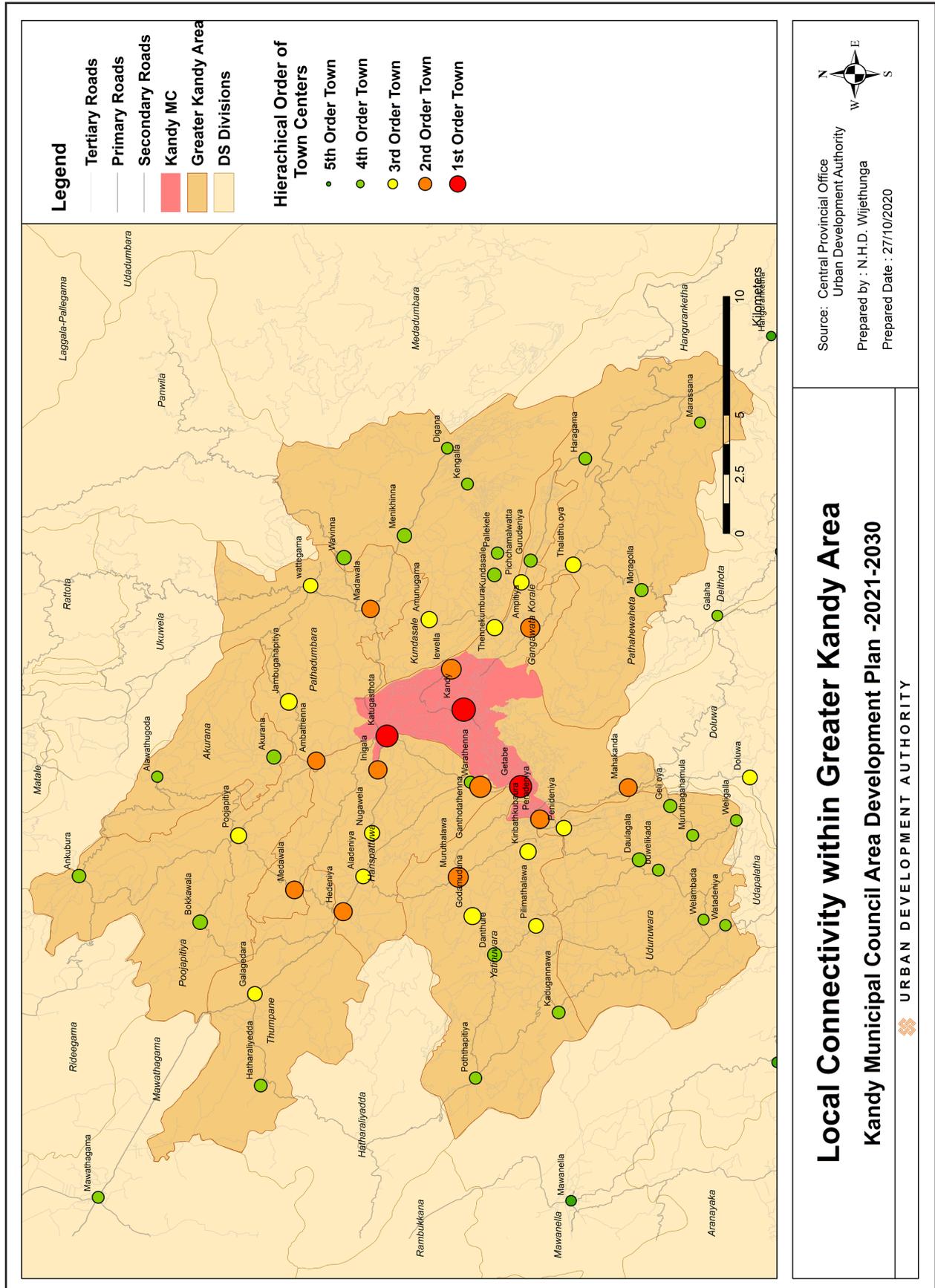
Mainly, 342 government schools are in the study area and 185,000 students are getting education. Out of 41 schools are located in Kandy city limits and there are 3,200 teachers and 65,000 students are attached to these schools. Nearly 63,000 persons are daily reaching to the town for the purpose of educational needs. Hence, in Kandy town can be identified as main educational center and also a center for higher education as well

Kandy is the main administrative center in the Central Province and consists with many service providing units. Around 6,100 units such as corporations, Boards, Cooperatives, private sector institutions, private banks, and government institutions are visible in this town. Thus, Kandy Town is identified as an Administrative Center; Health Service Center; Educational Centre and it is the 2nd largest city in Sri Lanka is also an exclusivity.

### **2. Connectivity with intra town and inter townships**

Among main access roads to the Kandy City, following roads are directly linking Kandy central region, they are Kandy –Colombo (A1 Road), Katugasthota-Kurunegala (A10) Road, Kandy – Jaffna (A9) Road, Kandy-Mahiyangana – Padiyatalawa (A26) Road, Kandy – Badulla (Raja Mawatha) (B413) Road and Peradeniya –Badulla-Chenkalady (A5) Road. Out of these A 1, A 9, A26 are directly linking Kandy Central Region Development Zone. These linkages will induce strong inter & internal relationship.

Map 4: Inter & Intra Connections within the Kandy City



### 3. Position of multi transport modes in the Kandy City

There are 3 bus terminals presently in operation in the Kandy town, which are Good Shed Bus terminals, Clock Tower bus terminals and Torrington bus terminals.

**Table 6: Amount of Transport Destinations Provided by Private Buses**

Bus Stand	Destinations of trips provided by Private Buses	
	Intra City	Inter City
Good Shed Bus terminals	98	28
Clock Tower Bus terminals	63	1 (A/C Colombo)
Torrington Bus terminals	15	

Source: A program for providing transport services in the Kandy Town – 2014

There are 2 Railway lines connect the Kandy City. Main Railway line starts from Kandy to Peradeniya and then dividing two ways; the 1st line beginning from Peradeniya to Colombo and the 2nd line from Peradeniya to Badulla. The other railway line stretches from Kandy to Matale where 5 rail trips are operating daily. There are 6 railway stations while 5 rail stations are in operation in the Kandy municipal area limit. It was understood that multi transport mode in operation with the positioning of a Main Railway Station and a Main Bus Station closely in the central area of the town. This could be identified as strength and also the position of the Railway Station in the center of the town is a unique character.

**Figure 20: Railway Stations & Halts Located within the Kandy**



Source: A program for increasing of transport services in the Kandy Town – 2014

#### **4. Implementing identified projects which improve other facilities within the Kandy Municipal Limits**

Kandy town could be identified as a concerned area by the local & foreign persons and number of investment projects are implementing through both foreign & local assistances intended to be implemented the city of Kandy. Thus, following projects are being in operation in the Kandy City.

1. Improvement of infrastructure facility of Sri Dalanda Maligawa–Stage 1
2. Improvement of Pavement walkways Project at Lamagara Mawatha
3. Development of road from Peradeniya to William Gopallawa Mawatha
4. Development of Tomlin Vehicle Park
5. Development of Kandy Multi-Model Transit Terminal
6. Development of other facilities in front of Premises of Bogambara Prisons
7. Kandy Waste Water Management Project

These are identified as the main development projects and some more of this type of development projects have being continued in the town and all of them induced in raising facilities for city users at present.

#### **5. Prevailing of Appropriate Water Assembly & Water Supply Schemes in the Kandy City**

The Mahaweli River flows along boundary of Kandy municipal area covered around 2/3rd of the boundary limits. Water intakes for purification has being stimulated from Polgolla, Gonadeniya & Gatambe points within the town limits and also take water for purification from Bharagama, Balagolla & Meewathura spots adjacent to municipal limits though they are not so far from the municipal area. Daily obtain water from three points within the city limit counts nearly 86,000 cubic meters which is 63% of the total quantity of water. Water obtained externally from Kandy city limits is 50,500 cubic meters which 37% of the total water intake of Kandy city limits. Thus, it could be noticed as a unique character to receive more percentage of water from the sources of municipal limits.

**Table 7: Intakes & Water Capacity from Mahaweli River**

Area	Water Intake Location	Quantity per day (l)	%
Within the Kandy Municipal Council Area	Polgolla	10,000	63%
	Kondadeniya	40,000	
	Gatambe	36,000	
	Total	86,000	
Outside Kandy Municipal Council Area	Haragama	2,000	37%
	Balagolla	10,500	
	Meewathura	38,000	
	Total	50,500	
Total		136,500	100%

Source: Water Division of Kandy Municipal Council – 2017

Potable water supply is being continued entirely by the Kandy Municipal Council and getting water from Gatambe Mahaweli River, Rosnic & Dunumandalawa Reservoir. Daily intake from the above source is around 36,000 cubic meters and they are purified through two (2) purification plants of Gatambe & Wales Parks. Since 36,000 cubic meters produced by municipality is not sufficient, Kandy Municipal Council receives around 10, 000 - 12,000 cubic meters from the Water Supply & Drainage Board daily. Thus, it is identified that the water supply is appropriately & smoothly continued in the Kandy City

## **B. Weaknesses**

### **1. Location of many schools either sides of the main road within the Kandy City**

Many popular schools are situated within the Kandy City in the event of positioning important educational establishments in the city. Accordingly, around 63,000 persons reached to the town for educational purposes. Among them 71.4% arriving to the town by private vehicles of which 25.4% are school vans & 3.2% is by other mean of vehicles are arriving for educational purposes. Private vehicles create heavy traffic congestion and indirectly add to adverse efforts.

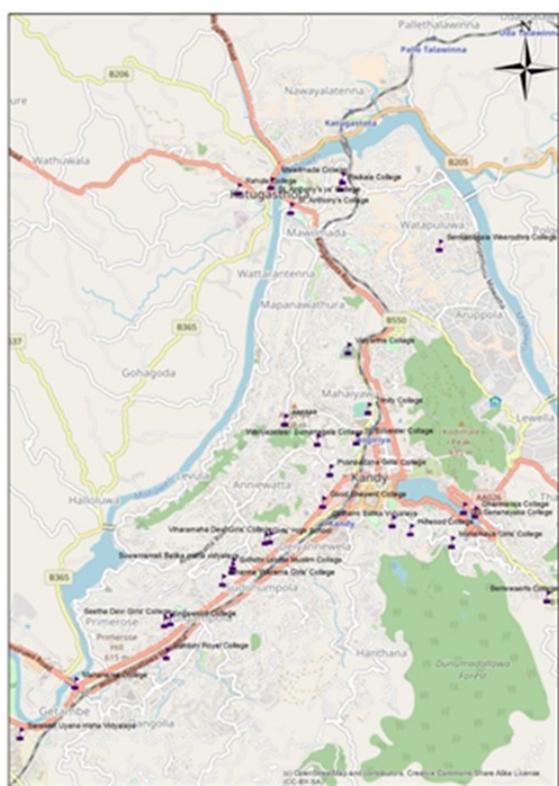
**Table 8: Traffic Congestion in the main roads and pedestrian’s density**

Routes	Within 24 hours	
	Vehicles %	Pedestrian %
Sirimawo Bandaranayake Mawatha	18.3	20
William Gopallawa Mawatha	19	34.2
Katugasthota Road	30.6	34.2
Polgolla Road	3.6	1.3
Sirimalwatta Road	3.8	1.8
Hewahata Road	17.3	16.3
Ampitiya Road	7.4	6.6

Source: Kumaraage - 2014

As per field survey, the highest pedestrians and highest number of vehicles move along William Gopallawa Mawatha, Katugasthota Road and Sirimawo Bandaranaike Mawatha etc. along either side of roads within 24 hours. Most of schools are located on William Gopallawa Mawatha, Katugasthota road and Sirimawo Bandaranaike Mawatha, when considering both pedestrian density and the vehicle density on those road, it is obvious vehicle density is more than pedestrian density. The main reason is location of popular schools on those roads

**Figure 21: Distribution of schools within the Kandy City**

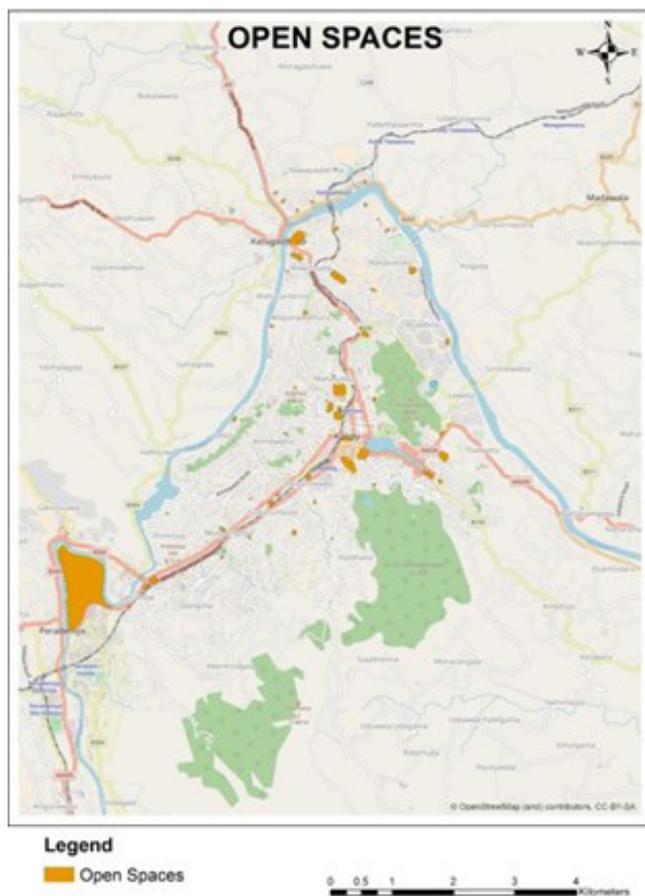


Source: Field Survey regarding spreading out of schools UDA, Central Provincial Office, - 2017

## 2. The necessity of keeping land extent of 129.7 of hectares for the purpose of recreation and community amusement area

Data pertaining to the Dept. of Census & Statistics in the year 2012, it was reported that 102,459 persons lived in the Kandy Municipal area. According to set standard, 1.4 hectares has to be kept for recreation & community amusement for every 1,000 persons. Presently land extent of 18.7 hectares have been found & reported for the usage of such facilities as per researches done subsequently in this town. Thus, sufficient lands could not make available among lands available in the city is found as a weakness in this town.

**Figure 22: Places Allocated for Community Recreation Activities & Open Spaces**



Source: Field Survey on allocated areas for community recreation and open spaces in the Kandy City, UDA, Central Provincial Office - 2017

It is expected to make retaining around 106,000 persons within the city at the year 2030 as per Development Plan and intend to reserve about 148.4 hectares of lands for the purpose of community recreation & open spaces. Accordingly, additional land spaces of 129.7 hectares have to be allocated for the predicted population. Further the existing lack of recreational facilities discouraged attraction at a very low level and it could be identified as a weakness.

**Figure 23: Lack of Facilities at Community Recreational Places & Open Spaces**



Source: UDA, Central Provincial Office, Kandy - 2017

### **3. Lack of attractive background for walking in the Town Center**

It is revealed that around 325,000 people daily reached into the town but accessible facility and desirability for walking along walkways was at a very low level in the Kandy Town. A study carried out regarding density of pedestrian could be recognized along the areas of Good shed, Dalanda Street up to Kandy Hospital and walking pathway of Kandy Lake (Wewa).

Accordingly, there seems to be no scatterings of pedestrians and only they are restricted to the Town Centre in further concerning of their movability. Additionally, positioning of obstructing situations for walking by disable persons, unsafe locations and sitting of hidden & walking paths or their improper maintenance, narrow roads & haphazard vehicle parking, low level of attraction & facilities for pedestrian walking are some coherent for pedestrian's attraction.

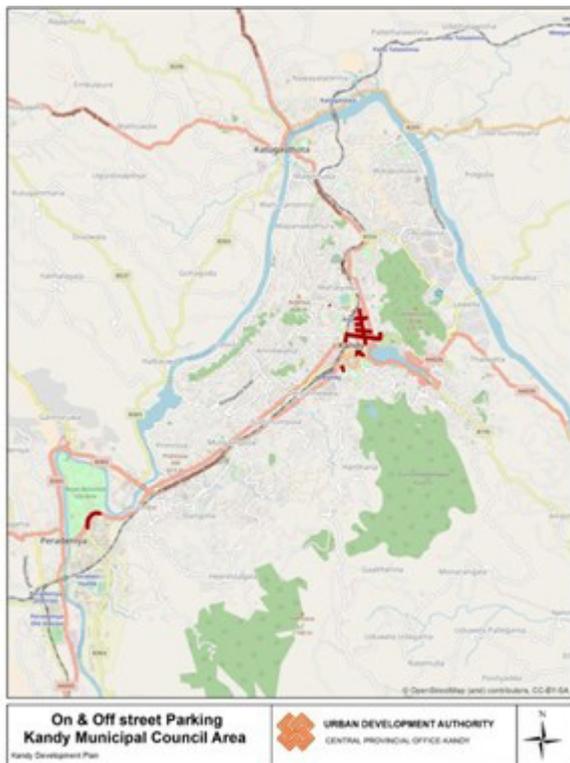


#### 4. 150% of demand for parking of vehicles

It is estimated that the amount of vehicle entering in to the city per day is 56,000 and vehicle parking requirement per day is approximately 14,600 within limits of KMC. The supply of parking in the city center is approximately 3,225. Among them it is estimated that Outside road parking is approximately 1760 and on street parking amount is approximately 1465. Excess demand for parking is 4,850 units which is 150% percent within the city center.

The supply of parking outside of the city limits is approximately 2,585. Among them it is estimated that outsides of roads parking approximately 1,760 and on street parking approximately 825. The excess demand of parking outside of the city limit is 3,900 units which is also 150% percent in city limits. Inadequate parking facilities is identified as a weakness of the town.

**Figure 25: Areas Allocated for Vehicle Parks within the Kandy City**



Source: Field Survey on parking facilities in Kandy City, 2020

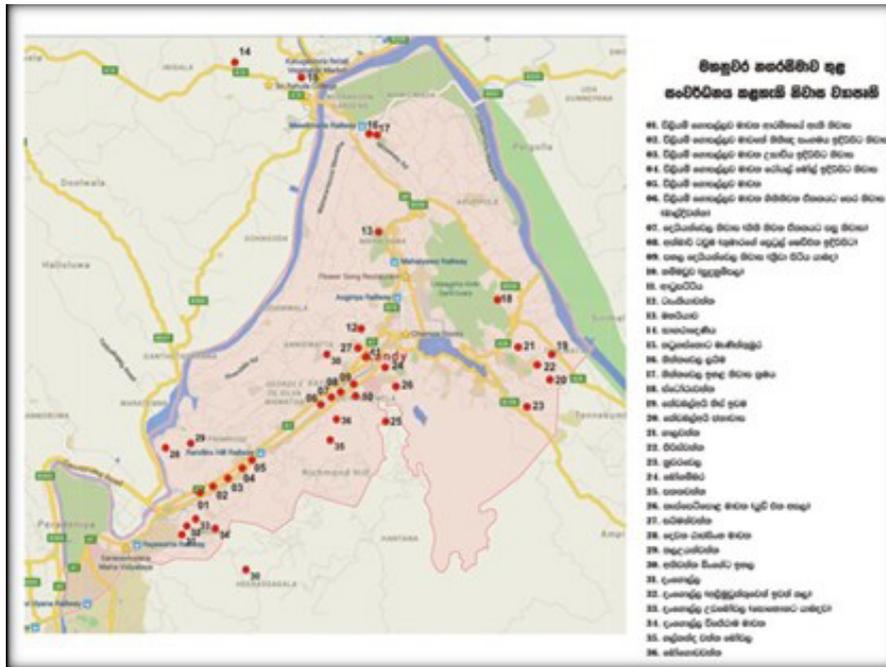
#### 5. Minimum level of usage of Public Transportation

325,000 commuters visit daily to Kandy city and 90, 000 of them are for occupations, 60,000 are for educational purposes. Usage of public transportation is 64% on the road and 2% on rail, which are comparatively low values. The weakness is this value is lower than the national level usage of public transportation.

## 6. Spreading of Underserved settlements all over the city covering 78 acres of land

There are 36 nos. underserved settlements were spreading all over the city and it covers 80 acres of land with 2,176 housing units in which 71% housing units, where people live in, is less than 6 perches. The ownership of those lands where underserved settlement located, 47% owned by Kandy MC, 20% owned by private people, 16% owned by National Housing Development Authority, 11% owned by religious institutions, 4% owned by the Sri Lanka Railway and 2% owned by the Government.

Figure 26: Distribution of Underserved Settlements within the Kandy City



Source: Field Survey, Urban Development Authority, Central Provincial Office, 2016

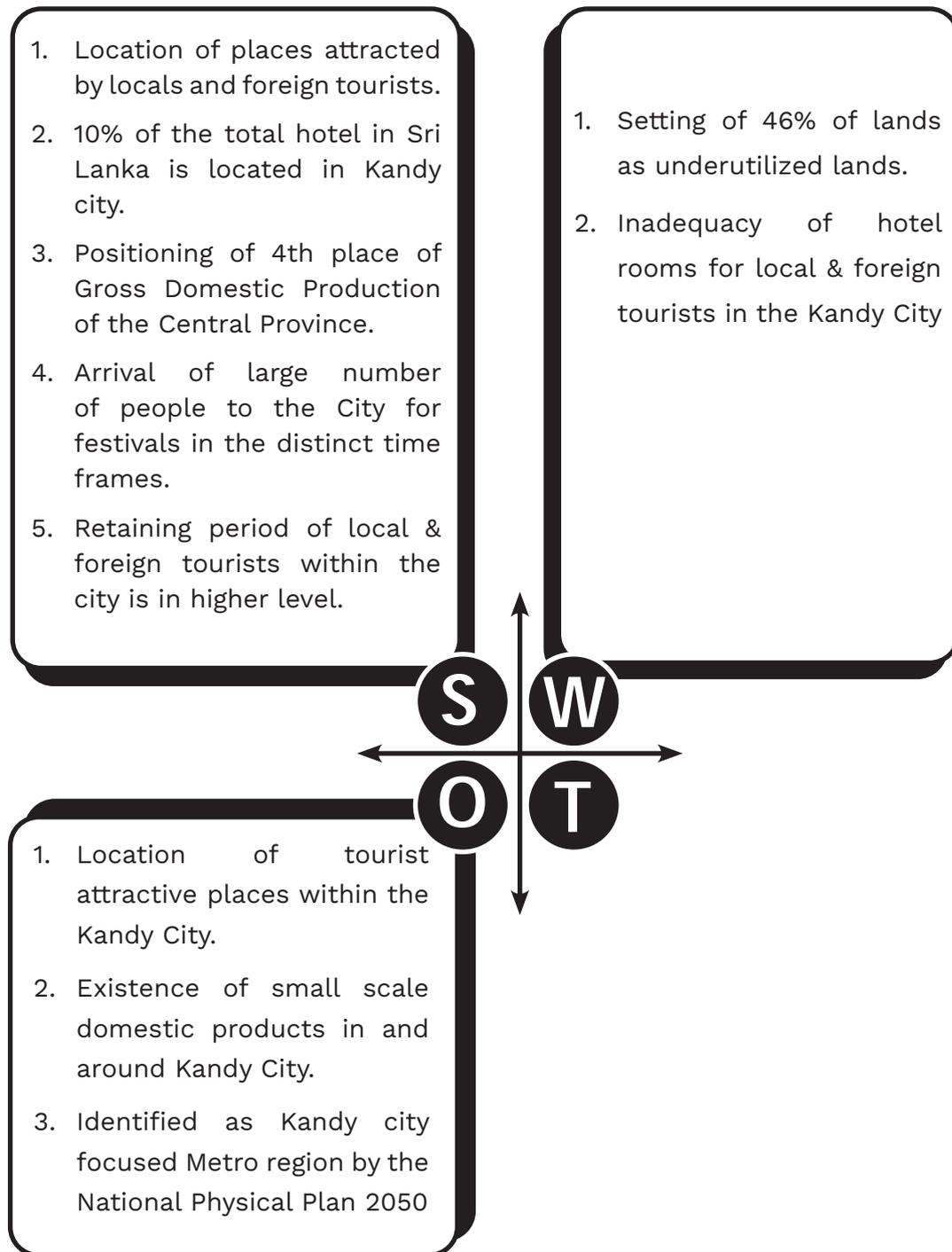
Scattering of underserved settlements all over the city is become a problematic situation for residential expansion and will be a weakness of the city

## C. Opportunities

### 1. Proposed Central Expressway

As per the 2050 National Physical Plan, It is proposed to construct the Central Expressway from Kadawatha to Dambulla and Pothuhara to Galagedera. Through Galagedera interchange it will be able to enter the expressway from Galagedera and it is an opportunity for the Kandy City.

## Goal 04: Building of self-sufficient economy through utilizing existing resources



## A. Strengths

### 1. Location of places attracted by locals and foreign tourists

There are many places where local and foreigners are attracted wherein Sri Dalanda Maligawa is supremacy. Other places are:

- |                                  |                                    |
|----------------------------------|------------------------------------|
| 1. Garrison Cemetery             | 7. War Cemetery                    |
| 2. Udawatta & Wakarawatte Forest | 8. Botanical Garden,<br>Peradeniya |
| 3. Bahirawakanda Temple          | 9. World Buddhist Museum           |
| 4. View Points in Kandy          | 10. Kandy Lake around              |
| 5. Wales Park                    |                                    |
| 6. Gatambe Temple                |                                    |

### 2. Kandy has the 10% of the total hotels in Sri Lanka

There are many star hotels in Kandy with a range of five-star hotel to small scale guest houses. Among five star hotels in central province, two five star hotels are located in Kandy city.

Located of 10% of the total hotels and possess 12.2% of the total hotel bedrooms is strength of the city.

**Table 9: Hotels Located within the Kandy City**

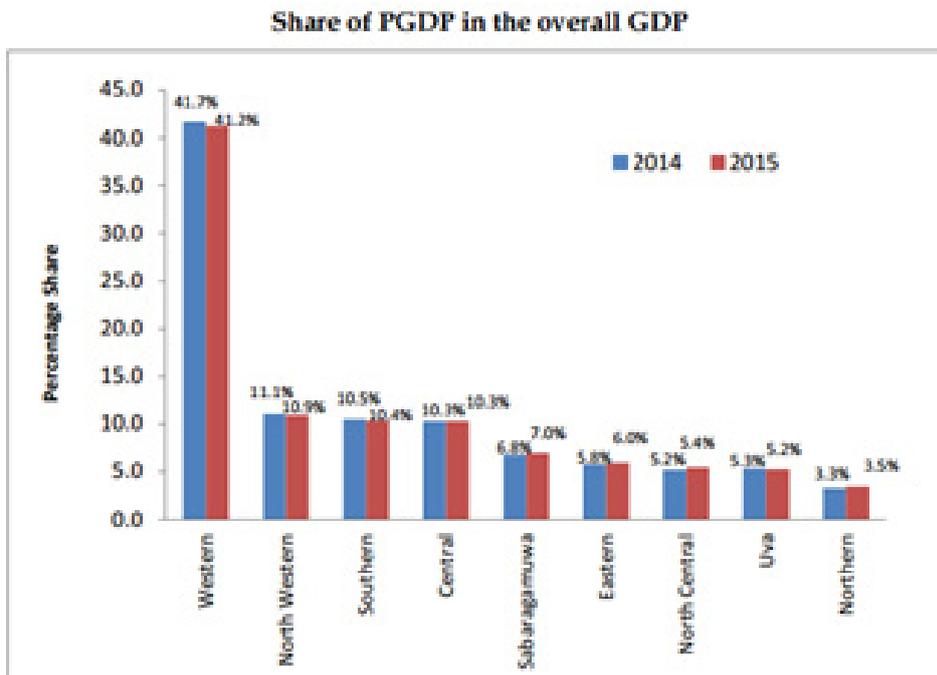
Hotel Category	Total Hotel in Sri Lanka	Hotels Located within the Central Province	%	Kandy	%
5 Star Hotels	13	3	23	2	67
4 Star Hotels	13	4	31	1	25
3 Star Hotels	13	5	38	2	40
2 Star Hotels	39	7	18	5	71
1 Star Hotels	31	7	23	3	43
Hotels not Categorized	140	25	18	12	48
Small Scale Hotels	19	3	16	1	33
Small Scale Guest Houses	25	8	32	4	50
BB Units	92	22	24	15	68
Guest Houses	292	79	27	42	53
Ancient/ Antique Houses	48	13	27	7	54
Rest Houses	368	34	9	23	68
Foreign Agency Institutions	487	10	2	10	100
Tourist Trade Shops	144	37	26	26	70

Source: Tourism Development Authority, 2017

### 3. Positioning of 4th place of Gross Domestic Production of the Central Province

Contribution of Gross Domestic Production of the Central Province in 2015 was 10.3% and it takes 4th place of the all provinces. Percentages of contribution to the national economy was 60.2% from the Service sector, 21.8% from the Industry sector and 10.8% from the Agriculture sector which is 4th place from nine provinces in Sri Lanka.

Figure 27: Gross Domestic Production - 2015 - 2017



Source: Annual Report of Statistics, Central Bank – 2016

### 4. Arrival of large number of people to the City for festivals in the distinct time frames

Many people arrive to the city in special occasions for special festivals. Those special festivals are Dalanda Perahara, special exhibitions for Blessed Tooth Relic, New Rice Festival and Nanu mura Festival etc. Daily devotees arrive to the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) would be counted around 5,000 persons per day and it will increase between 5,000 and 50,000 persons per day in special occasion.

**Table 10: Arrival of Devotees to the Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) in normal day**

Day	Time				
	5.00am 8.00am	8.00am 11.00am	11.00am 2.00pm	2.00 pm 5.00pm	5.00pm 8.00pm
Normal Day	950 – 1100	800 – 1200	500 – 600	400 – 800	600 – 950
Full Moon Poya Day	2500 – 8500	10000 – 15000	7000 – 9000	8000 – 10000	6000 – 9000
Other Holidays	3500 - 7000	8000 - 11000	6000 - 7000	4000 - 7000	3000 – 6000

Source: Project of Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), UDA, Central Provincial Office-Kandy 2016

Moreover, there are approximately 600-700 foreigners daily approached to this Palace could be recognized as a strength.

## **5. Retaining period of local & foreign tourists within the city is in higher level**

According to statistical data of Sri Lanka Annual Report revealed that those who travelled Kandy town 77.47% of them tend to stay overnight in the town which can be the highest percentage of overnight stays in towns in the country as a whole. Comparing overnight stays by tourists in sacred towns reached to 75.24% whereas those who visited counts 44.3% by foreigners and 34.5% by local visitors in hotels of Kandy city. This could be notified as strength to the town.

**Figure 28: Number local & foreign tourists retained overnight in the Kandy City – 2016**

**Monthly Occupancy Rates in Tourist Hotels by Region - 2016**

Table 13

Resort Region	No. of Units **	Rooms **	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual O/R
Colombo City	34	4,319	70.80	76.28	77.89	71.91	73.89	69.89	78.64	84.87	69.90	74.29	77.51	86.11	76.75
Greater Colombo	62	3,184	81.88	77.62	78.98	70.81	72.09	67.335	78.97	76.77	69.80	72.86	74.80	80.34	75.18
I. North of Colombo	52	2,711	83.89	78.85	79.35	74.88	70.22	69.35	78.35	77.69	70.20	71.83	74.21	81.21	75.84
II. South of Colombo	10	473	79.87	76.39	78.61	66.73	73.84	65.32	79.58	75.85	69.30	73.89	75.38	79.47	74.52
South Coast	142	8,437	81.57	79.21	76.91	72.54	61.82	67.99	78.24	72.85	73.65	67.06	76.93	82.08	74.24
I. Up to Galle	81	5,739	83.27	81.21	77.27	73.13	65.14	68.41	77.32	73.13	73.30	70.54	77.63	81.04	75.12
II. Beyond Galle	61	2,698	79.87	77.21	76.54	71.94	58.49	67.56	79.15	72.57	74	63.57	76.23	83.12	73.35
East Coast	25	1,121	77.80	81.52	80.87	73.14	61.94	71.64	78.94	79.81	74.70	71.89	69.13	77.65	74.92
High Country	32	1,178	76.74	79.81	81.24	76.82	67.63	69.34	80.31	75.87	70.60	73.11	68.32	83.17	75.24
Ancient Cities	82	3,990	81.51	81.00	79.49	75.00	63.96	69.87	76.39	79.27	71.34	70.29	75.56	81.85	75.46
Kandy Area	31	1,651	83.84	82.78	82.78	72.25	67.81	73.54	75.48	84.79	73.60	69.87	78.25	84.67	77.47
II. Anuradhapura Area	16	400	80.78	82.56	81.44	76.53	66.74	72.58	74.31	81.42	73.20	67.29	74.26	84.35	76.28
III. Polonnaruwa/ Giritale	11	530	81.56	83.32	79.23	75.65	59.96	64.62	76.03	73.15	70.20	69.74	75.39	81.15	74.17
IV. Habarana/Sig./Damb.	24	1,403	79.87	75.32	74.51	75.58	61.34	68.73	79.75	77.73	68.40	74.25	74.35	77.24	73.92
Northern Region	5	107	73.47	73.02	69.78	66.38	63.14	65.48	71.32	70.88	67.50	66.56	73.25	74.16	69.58
All Area*	382	22,336	80.06	79.02	78.29	72.91	65.84	68.87	77.43	77.31	71.20	70.57	74.49	81.11	74.76

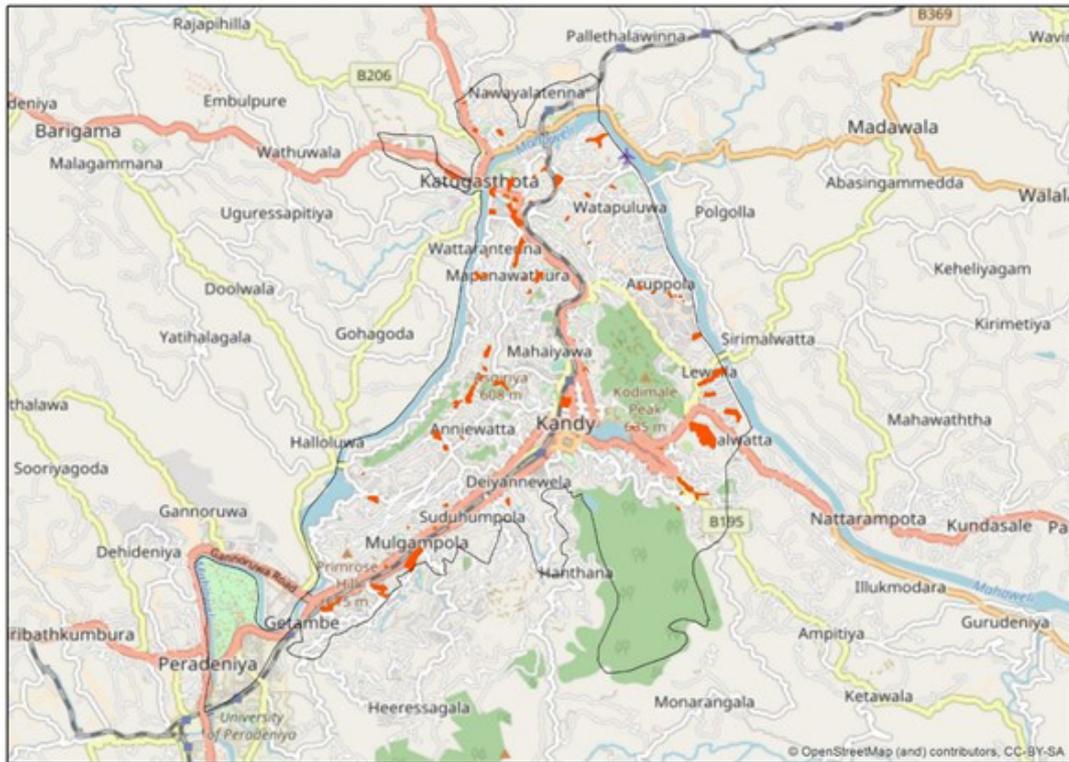
Source: Tourism Development Authority - 2016

## B. Weaknesses

### 1. Setting of 46% of lands as underutilized lands

Land value is high, ranging from five hundred thousand to six million per perch within the city. 50% lands owned by the government. The entire land area counts 2,645 hectares out of which 45.43 hectares are known as underutilized. Existence of underutilized lands in a town can be identified as one of the weaknesses in the event of the existence of high land values.

**Figure 29: Underutilized lands identified in the Kandy City limits**



Source: Field Survey carried out regarding land values within the Kandy City, UDA, Central Provincial Office, Kandy - 2017

## **2. Inadequacy of hotel rooms for local & foreign tourists in the Kandy City**

334 hotels are located in the Kandy City providing around 18,510 rooms. Retention of tourists in the ancient cities in Sri Lanka varies between 71.7% and 75.46% by increasing of 3.76%. Thus, increasing rate of retention could be hypothesized as 0.75% in ancient cities by tourists. It would be possible that duration of retention in such cities is predicted an increase of 10.53% in the year 2030. Accordingly, retention of tourists would be predicted to increase by 86% in Kandy & allied areas in the year 2030. But there is a necessity of having another 850 hotel rooms or other rooms for tourists.

### **C. Opportunities**

#### **1. Location of tourist attractive places within the Kandy City**

Many tourist attractive sites are situated in the Kandy City. Among them Balana, Ambekke, Gadaladeniya, Riveston, Pinnawela, Nuwara Eliya, Dambulla, Sigiriya, Matale and Aluvihare are prominent. These sites are close proximity to the Kandy City. In the case of positioning of Kandy Town is centrally located and easy accessible.

## 2. Existence of small scale domestic products in and around Kandy City

Small scale Domestic products are very much popular in the Kandy City, oxidizing of brass fittings, gold & silver production, lacquer & wooden crafts, cloth industry, mats products, drums production, Gem works, other decorations, arts drawings, ivory & works etc. are popular in the Kandy Town. And also those tourists seem to be attracted to trade stalls of small & minor craft industries in the town.

**Table 11: Small Scale Domestic Industries & its Locations**

Small Scale Domestic Industries	Documented Locations
Casting Brass Goods	Madawala, Kirivawula, Ambekke
Manufacturing of Silver and Brass Goods	Danthre, Ulladupitiya, Araththana, Nilawela, Pilawela, Medawela
Manufacturing of Gold and Silver Goods	Ambekke, Nilawela
Manufacturing of Laksha and Furniture	Gunnepana, Ambekke, Hapuvida
Apparel Manufacturing	Thalagune
Manufacturing of Mats	Henewela
Manufacturing of Drums	Kurugala, Kurugandeniya
Manufacturing Crystal Goods	Kiriwaula
Other Decorative Items	Kulugamma
Painting	Nilagama
Tuskers	Kundasale, Mawanella
Manufacturing of Parasol	Unveruwa

Source: Jeewantha Magamage, Traditional Arts and Handicraft at Kandy Age, 2017, Kandy

## 3. Identified as Kandy town focused high density metro region by the National Physical Plan- 2050

The National Physical Plan 2050 estimated that Kandy Metro region with predicted population of 700,000 persons in the year 2050 and identified as a prime capital city within that region.

Chapter  
**06**

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**The Plan**



## Chapter 06

# The Plan

### 6.1 Introduction

The reflection of future development scenario of Kandy MC Area would be identified through its conceptual plan. Since the Kandy MC area is the main administrative center of the Kandy district, the study area of the Greater Kandy Urban Region was considered as a whole area for the preparation of this development plan. From that, the special attention was paid for future development directions, development inclinations, ongoing projects, identified projects and the conceptual plan introduced by the National Physical Plan 2050, when identifying these alternative conceptual plans.

Thus, to be reached the vision of “The Glorious Hill Capital”, the conceptual plan with attention of following sectors namely Improvement of heritage of hill country, protection of green and blue environment, establishing comfortable, livable framework and marched towards sustainable economy, identified through the Kandy City Development Plan, was selected.

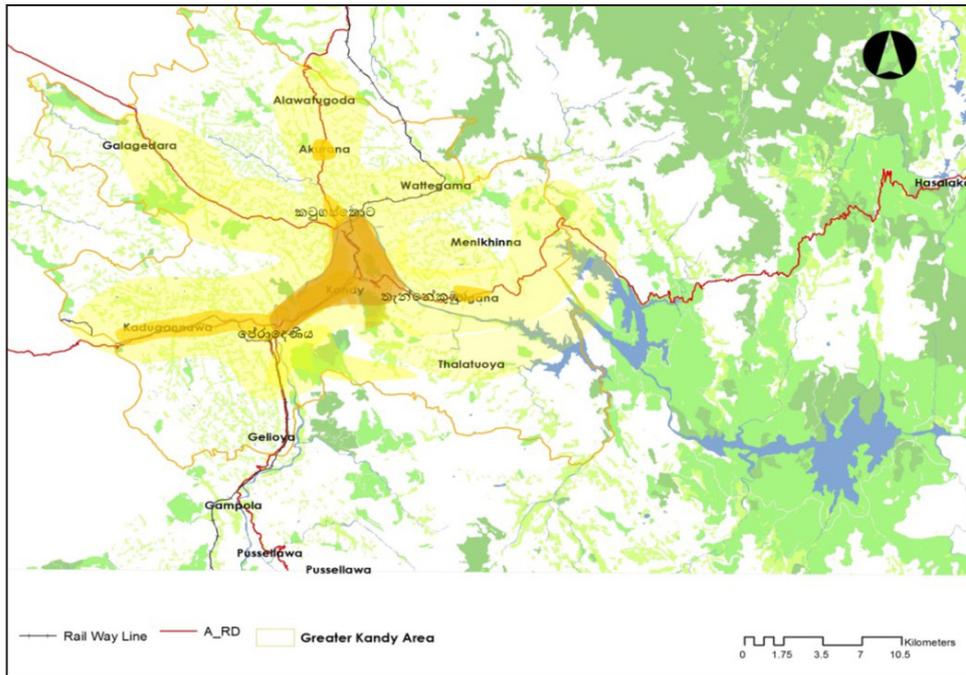
#### 6.1.1 Development Scenarios

##### 6.1.1.1 Keep the present development trend as it is (Business as Usual)

The impression of this concept is to uninterrupted development of the city. The development activities are functioning with urbanization trends, present development pressure and the ad hock development in the city without any obstacle.

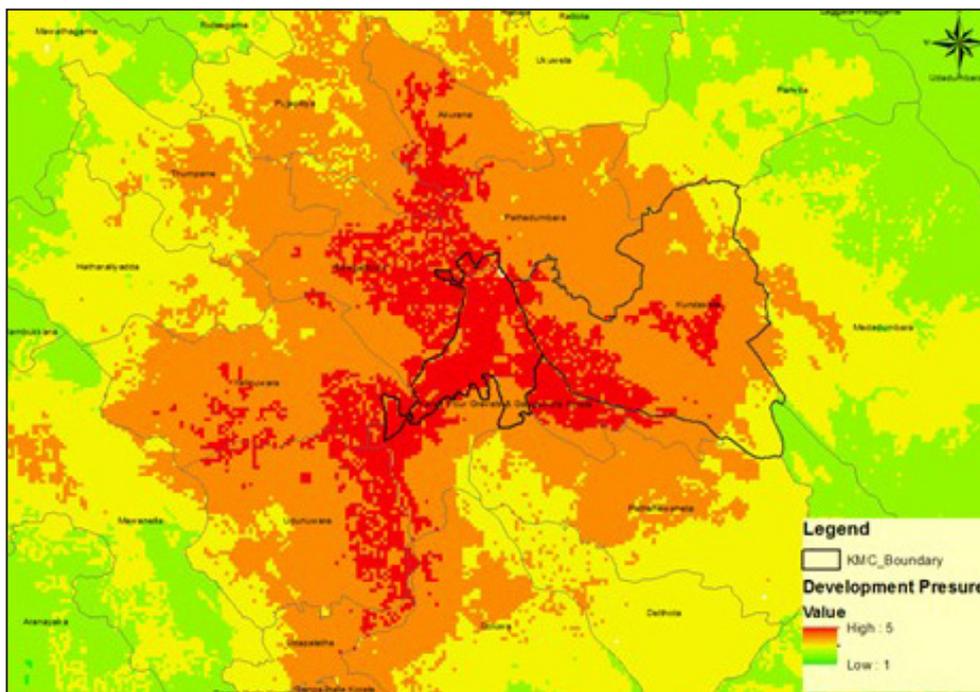
As per this alternative development scenarios, the development direction could be identified along Peradeniya, Colombo Road, Katugasthota Matale Road and Thennekumbura Mahiyangana road and Town Center as well. It is observed that this development will be threatened to environmental sensitive areas and may cause to natural disasters.

**Figure 30: Business as Usual**



Source: Draft Greater Kandy Plan 2030, UDA, Central Provincial Office, Kandy, 2007

**Figure 31: Development Pressure in the City of Kandy**

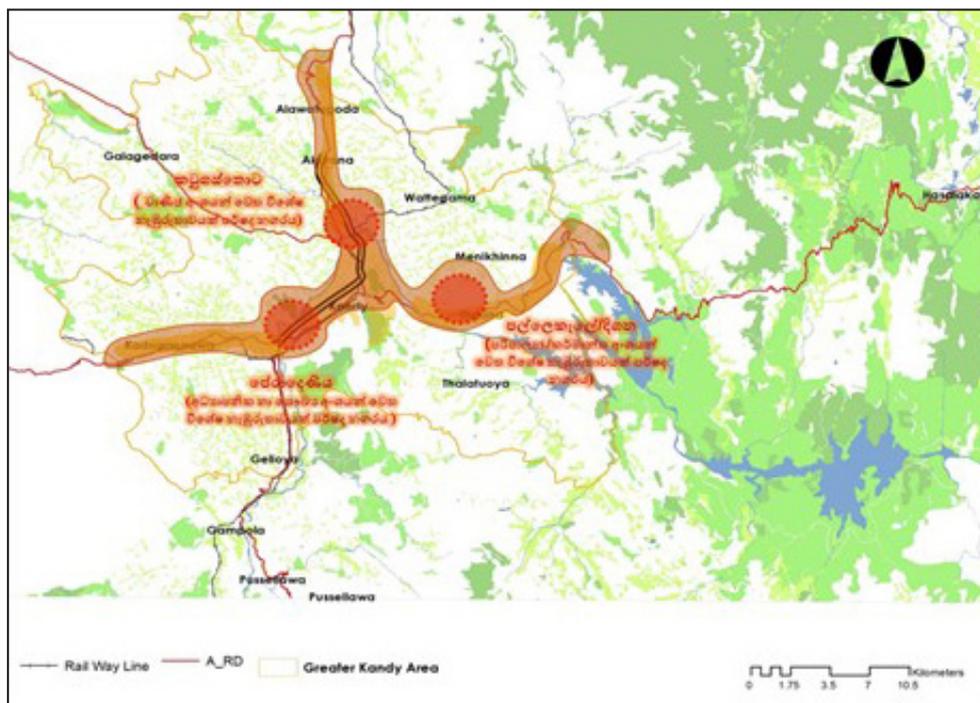


Source: UDA, Central Provincial Office, Kandy, 2017

### 6.1.1.2 Centralized Development with Cluster towns

This alternative development plan is envisaged Kandy city center as the centroid and Peradeniya, Katugasthota and Digana as small urban centers to be developed with commercial development. It is identified that this development is spreading over towards Hedeniya and Aladeniya centralizing Peradeniya town and to Madawala, Manikhinna and Pallekele centralizing Kundasale town. But when considering geographical condition and development trends in Peradeniya urban center and surrounding area, it is the area of frequently faced natural disasters.

**Figure 32: Centralized Development with Cluster towns**

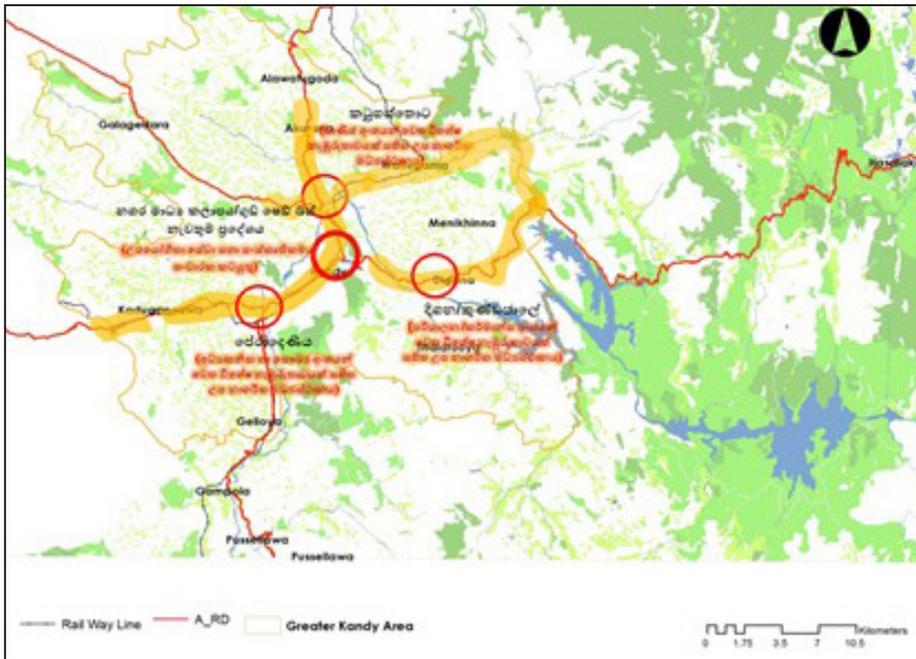


Source: Draft Greater Kandy Plan 2030, UDA, Central Provincial Office, Kandy, 2017

### 6.1.1.3 Development Corridor with specialized Suburban centers

Pilimathalawa - Katugasthota and Kundasale - Digana have been selected as two development corridors considering the factors namely, slope of the area, development pressure, environment sensitiveness, natural disaster proven areas, and integration of the area. Further, the Kandy city center area, Kundasale, Katugasthota and Peradeniya have been identified as special urban areas by considering land use characteristics of those areas. If development concentrates in identified areas, infrastructure will also develop within those areas, by then spreading of development projects into the environmental sensitive, disaster vulnerable areas and high elevation areas could be able to control.

**Figure 33: Development Corridor with specialized Suburban Centers**



Source: Draft Greater Kandy Plan 2030, UDA, Central Provincial Office, Kandy, 2017

The most suitable development concept was selected based on the objectives reflected by the vision of the development plan.

**Table 12: Weighted on Alternative Concepts**

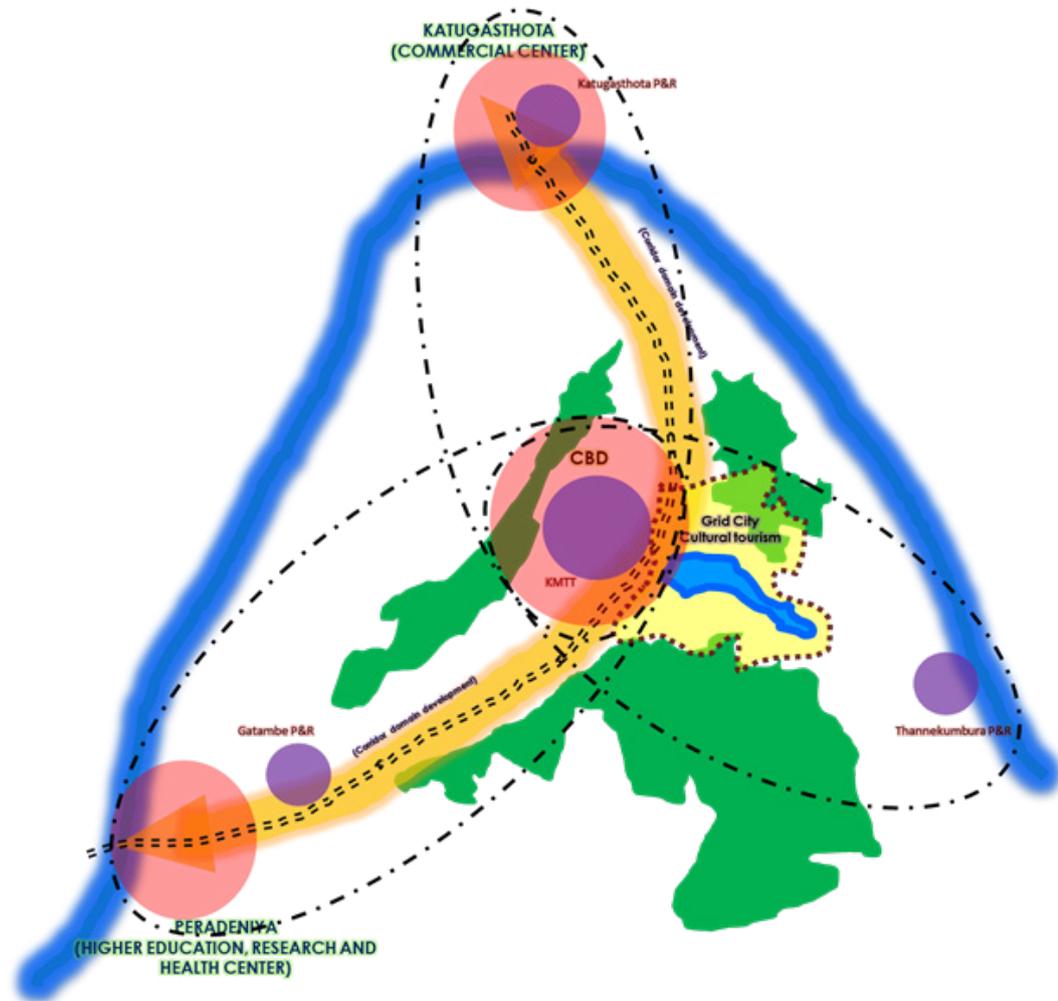
Alternative Concept	Conservation of Kandy heritage	Creation of Green & Blue Environment	Establishing Comfortable Living Pattern	Creating an Efficient Economy	Total
Keep the Present Development trend as it is (Business as Usual)	-3	-3	1	2	-3
Centralized Development with Cluster towns	1	1	2	2	6
Development Corridor with specialized Suburban Centers	2	3	2	2	9

Source: UDA, Central Provincial Office, 2020

Accordingly, “Development Corridor with specialized Suburban Centers” concept was identified as the concept which could able to reach the vision of the development plan. Since Pallekele and Digana suburban towns are not within the KMC limits, following comprehensive concept plan was prepared for the KMC area.

## 6.1.2 Development Corridor with specialized Suburban Centers

Figure 34: Proposed Alternate Concept Plan



Source: UDA, Central Provincial Office, 2020

### 6.1.3 Relationship between Concept Plan and Vision, Goal and Objectives

Presently, the Kandy MC area has been functioned as the main administrative center of the Kandy administrative district and it will remain till 2030 as it is. Further, this urban area could be identified as the magnet of commercial, administrative and transportation inclination zone.

It is anticipated, to protect majestic of the ancient city and to regenerate the streetscape of the city through Conservation of heritage buildings within the ancient city center and around Sri Dalanda Maligawa, and introducing adaptive usage for special buildings in surrounding area. From that “**Replica of Up-country Heritage**” could be revitalized.

The city can be identified as environmentally sensible city through limiting unauthorized constructions spread over in hilly areas of the KMC area, conservation Wakare watte and Udawatte Kale Forest reservation as it was and finally reopening of existing water resources. The “**Blue and Green Environment**” could be created within the city by enforcing and pushing development activities to lands between Peradeniya and Katugasthota and restricting construction on hilly areas.

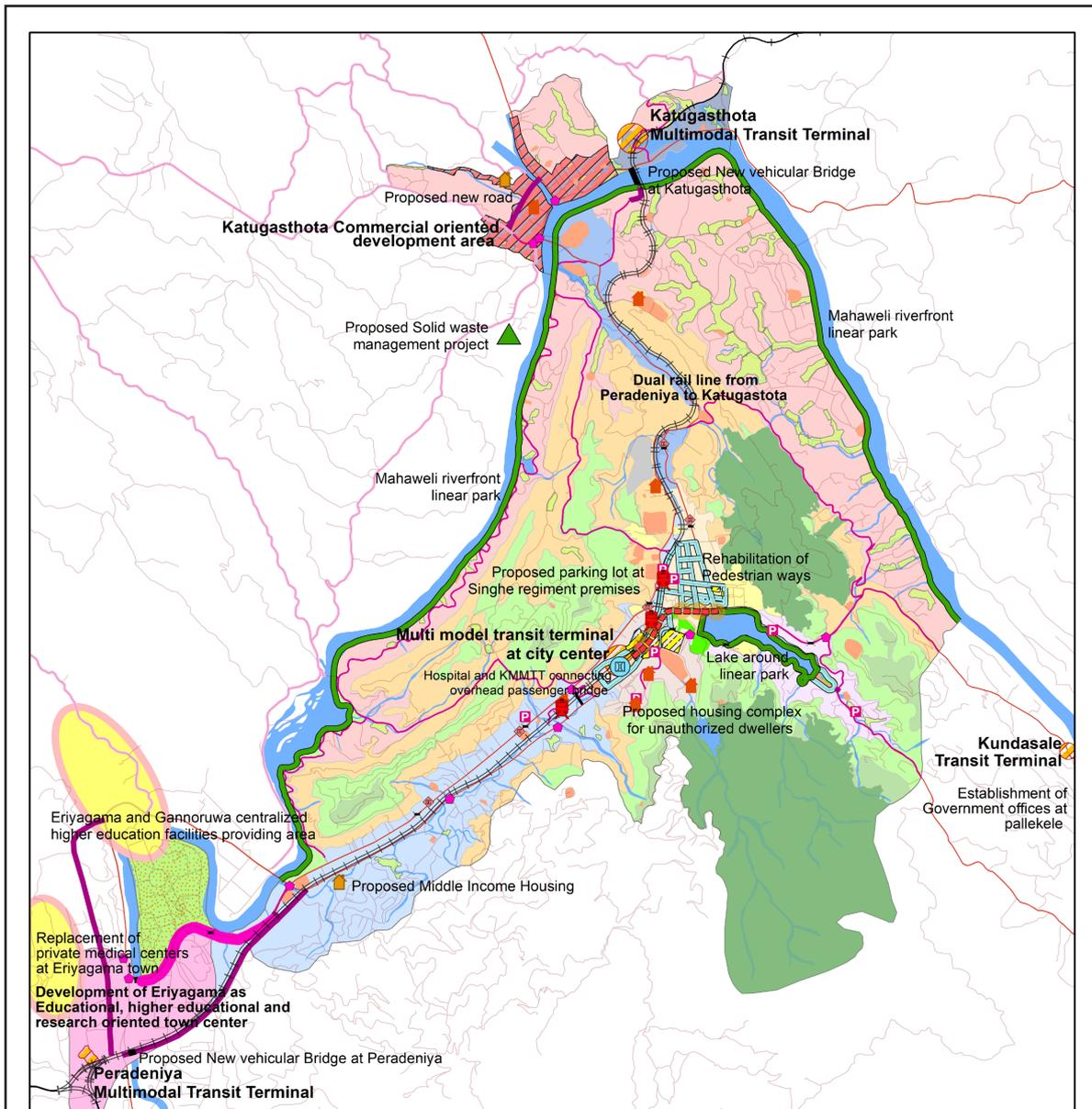
Peradeniya and Katugasthota towns will be developed as special purpose pro-active suburban centers, minimizing prevailing problems through integrating and concentrating activities into both towns. Accordingly, commercial and wholesale functions will be located at Katugasthota suburban center whereas higher education, Research & Development and Health functions will be located at Peradeniya suburban center. Kandy City center area will develop as suburban center for supplying public utilities.

Kandy Multi-Modal Transport Terminal (KMMTT) will be built linking Kandy railway station and main bus stand, and cluster terminals will be formed at Thannekumbura, Peradeniya & Katugasthota to facilitate KMMTT at Kandy city. The existing railway line connecting Peradeniya and Katugasthota will be transformed into double line and A9 road will be functioned as spine of the city. Further, to improve inter-connectivity among cluster town centers, all local roads will be rehabilitated and by then, will be able to offer “**Comfortable living environment**” for citizens who live within the Kandy MC area.

The future economy of the Kandy MC area will be mainly based on service and tourism sector. By developing Peradeniya and Katugasthota as special institutional & commercial urban centers, City center as public utility providing area, ancient city and sacred area as tourism zone, it would be able to reach “**Well establish self-sustained economy**”.

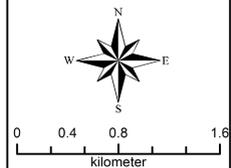
## 6.2 Proposed Land Use

Map 5: Proposed Land Use Plan



### Legend

- |   |   |  |
|---|---|--|
| <ul style="list-style-type: none"> <li>— Railway line</li> <li>— Proposed roads to be develop within the city</li> <li>— Proposed roads to be develop in outer city</li> <li>▨ Adaptive reuse projects</li> <li>▨ Multimodal transit terminal</li> <li>▨ Development of central market</li> <li>▨ Eriyagama and Gannoruwa centralized higher education facilities providing area</li> <li>▨ Low income housing development area</li> <li>▨ Katugasthota special commercial zone</li> <li>▨ Peradeniya health services area</li> </ul> | <ul style="list-style-type: none"> <li>▨ Peradeniya health services area</li> <li>▨ Pedestrian path to be rehabilitate</li> <li>▨ Proposed new rail station</li> <li>▨ Proposed new roads</li> <li>▨ Katugasthota and Peradeniya new bridges</li> <li>▨ New underpass for pedestrian</li> <li>▨ Solid waste management site</li> <li>▨ Proposed pedestrian junctions to be develop</li> <li>▨ Conserved Forest</li> </ul> | <ul style="list-style-type: none"> <li>▨ Cemetery</li> <li>▨ Park</li> <li>▨ Playground</li> <li>▨ Water Body</li> <li>▨ Conserved low line lands</li> <li>▨ Peradeniya botanical garden</li> <li>▨ Pedestrian overhead cross</li> <li>▨ Junction improvement</li> <li>▨ Proposed parking area</li> <li>▨ Linear park</li> <li>▨ Spiritual lane</li> </ul> |
|---|---|--|



## PROPOSED LANDUSE PLAN

Kandy Municipal Council Area Development Plan 2021-2030

URBAN DEVELOPMENT AUTHORITY

Source: Central Provincial Office  
Urban Development Authority

Prepared by : N.H.D. Wijethunga

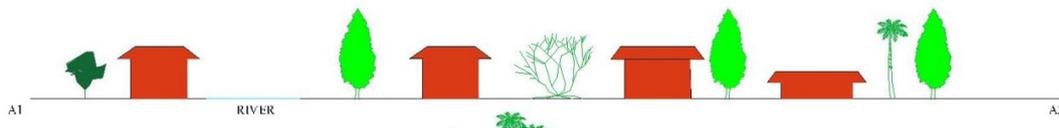
Prepared Date : 27/10/2020

## 6.2.1 Enlargement of Proposed Land Use Plan

The proposed land use plan was prepared for the duration for 2018 – 2030 based on following factors, namely, to offer comfortable living environment for the citizen as well as people who come to the city, to provide smooth transportation by mitigating traffic congestion, to protect world heritage buildings that spread over the city, to conserve existing heritage and to create protective environment by preserving natural environment.

This proposed Land Use Plan envisages reaching its vision, “The Glorious Hill capital” by protecting its multi facets and uniqueness when walking through the city. (Annexure 24)

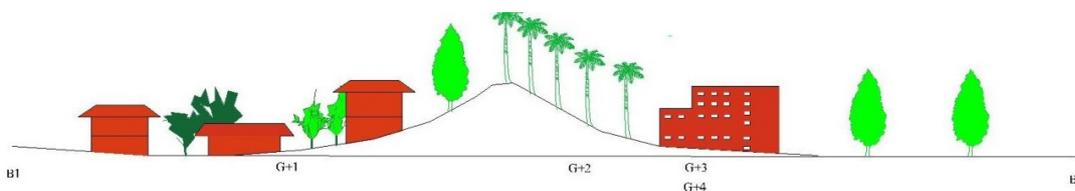
**Figure 35: Cross Section from Peradeniya to Katugasthota**



Source: UDA, Central Provincial Office, Kandy, 2020

The area in-between A1 & A9 Roads and Mahaweli River will have sufficient lands for Residential and Tourism industry uses and in which 35% lands will be remained as open spaces. The average heights of the buildings in this area are confined to ground floor plus one floor or two floors maximum and there are many residential buildings located in this zone.

**Figure 36: Cross Section from Riverdale Road to Peradeniya Road**



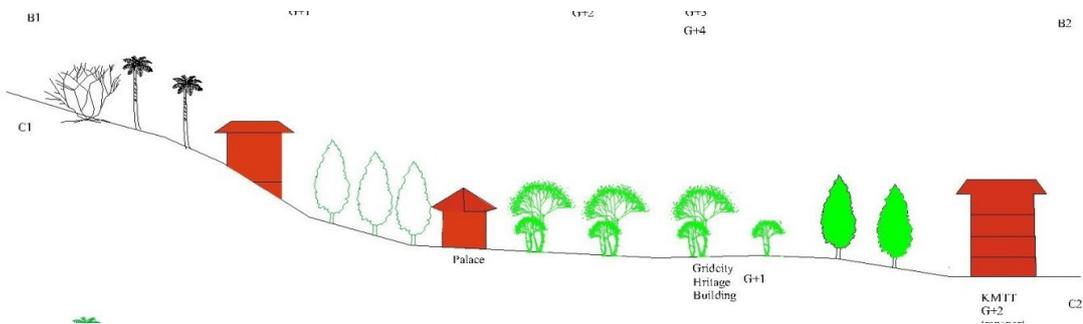
Source: UDA, Central Provincial Office, Kandy, 2020

As per the cross section B1 to B2, the terrain of the area along Riverdale road and Jorge E de Silva road and direction towards Jorge E de Siva road indicates higher elevation and the average heights of the buildings are in ground plus two storied. Further when it comes to Aniwatte road side, the high-density buildings zone could be realized towards the city centre, and Hanthane Forest reserve also visible without obstacles. The plant density is higher in this zone but comparatively with other areas, there are many sub division of lands and ground plus one storied buildings could be seen.

From the above area towards Peradeniya road, terrain of the area gradually decreases and the heights of the buildings are remained without covering the Primrose mountain range. More over the plant density has been decreasing whereas building density has been increasing within the area.

Similarly, from Peradeniya road towards William Gopallawa Mawatha, terrain is taken low value but the height of the buildings may indicate higher value but it is not covered Hanthana and Primrose mountain ranges. The plant density is remained those mountain ranges as about 1/3 of its higher areas. Generally, building density of this area has taken higher value and mainly dedicated for commercial activities.

**Figure 37: Cross Section from Udawatte Kale Forest Reserve to Good shed area in the City**

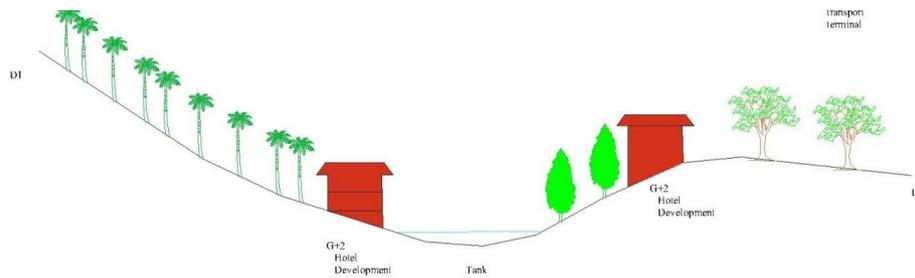


Source: UDA, Central Provincial Office, Kandy, 2020

C1 to C2 above, indicates different uses of land namely, environmental, cultural, social and economical of the Kandy city

Accordingly, Udawatte forest reserve will be preserved and remained as it was in the city centre and the historical environment of the Kandy city could feel when reaching the Sri Dalanda Maligawa Premises. Udawatte forest reservation area could be able to see from the Maligawa premises without any obstacles and within the Maligawa premises, uses which comprised of proud history and compatible with the Maligawa could also be seen. When entering the city centre from the Maligawa premises a tourist attraction zone consisted of many world heritage buildings as a world heritage area and other tourists' identical activities could be experienced. Further, buildings height restrictions are prevailing in this area. From the city centre to Good Shed bus stand area is the most illuminative area having many open spaces and recreational activities. Good shed area is a public transportation and utility area with proper landscaping that will provide a pleasing environment for people. Building density and building height has taken high value in this area.

**Figure 38: Cross section from the upper boundary of the Kandy lake to Rajapihilla**

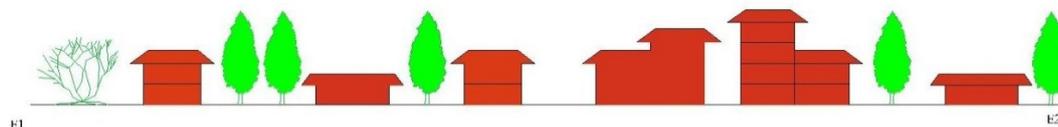


Source: UDA, Central Provincial Office, Kandy, 2020

The cross section drawn from upper boundary of the lake through Malwatta temple to Rajapihila, the diversity of environment landscape of the Kandy city could be well recognized. It is identified that the land uses prevailing in the upper limits of the Kandy lake area is promoting tourism industry. Building density has taken low value but tree density has taken much higher value in this area.

From the lake side, it could be clearly seen the blue and green environment without covering buildings and the average building height limited to ground plus one floor. From Kandy lake-around side towards Rajapihila area, land height is gradually increasing and the building height is limited to ground plus one floor. Same as the above, building density has taken low value but the tree density has taken much higher value in this area. The land use in this area is promoting and compatible for tourism industry. After developing with suitable building relevance to tourism industry, this area could be seen as harmonized area with development.

**Figure 39: Cross Section from Wattarathenna to Nithhawela Junction**



Source: UDA, Central Provincial Office, Kandy, 2020

From Wattarathenna road to Nithhawela Junction (E1 to E2) building density indicates low value and average height of buildings is limited to ground plus one or two floors. The open space of land plots is 35% in this area and it is devoted for residential land uses. Area surrounding Nithhawela Junction, building density is high as well as high rise buildings could be seen. Then terrain of the area towards Watapuluwa town is flat land and low residential is the main land use character of this area.

Considering all factors, it is evident a diversity land use pattern remaining within the KMC area.

## 6.3 Development Strategies for Physical and Social Infrastructure Facilities

The development strategies for physical and social infrastructure facilities were emphasized to achieve vision of “The Glorious Hill Capital” based on the goals of forming Blue Green Environment and creating comfortable livable environment. Proposed Infrastructure Plan, Transport Plan, Water Supply Plan, Electricity and Data Network Plan, Sewerage & Solid Waste Management Plan have been identified under the development strategies for physical and social infrastructures.

### 6.3.1 Services Plan

The utility plan was prepared combining relevant sectors which expected to provide services under health, education and residential, for the people who lived in the city and who come for the city to obtain those facilities in 2030. The Kandy MC area which is 26.45 km<sup>2</sup> in extent, comprises of 102,459 population in 2012 and forecasted it will be increased up to 106,000 in 2030. Further analysis has been done on health, education and residential needs, accordingly.

#### 6.3.1.1 Health services Plan

Currently health services are being carried out by quite a lot of institutions namely, Kandy Main Hospital, Teaching Hospital, Peradeniya, Children Hospital, Peradeniya, Dental Hospital, Peradeniya, Chest Hospital, Kandy, Regional Hospital, Katugasthota and MOH office of KMC etc. in the city. Kandy main hospital is the second largest hospital in Sri Lanka and it has national priority.

The bed capacity of the Kandy main hospital was 3633 in the year 2016 and it is second to National Hospital in Colombo. The total bed capacity of Kandy district is 6597. As per the standard bed index for 1000 patient, Kandy district figure was 4.6 in 2016. Even though, the standard bed patient ratio stipulated by the WHO was 3.5, Kandy district has already reached that level at present. (Annexure 25)

The census report for 2012 published by the Census & Statistic Department indicates the total population of the KMC is 102,459. The total number of beds prevailed in 2012 which was 2254, Kandy main hospital itself provided 22 beds for 1000 patients. Hence it is concluded that the health facilities having at present in Kandy would be sufficient for the forecasted 106,000 population in 2030.

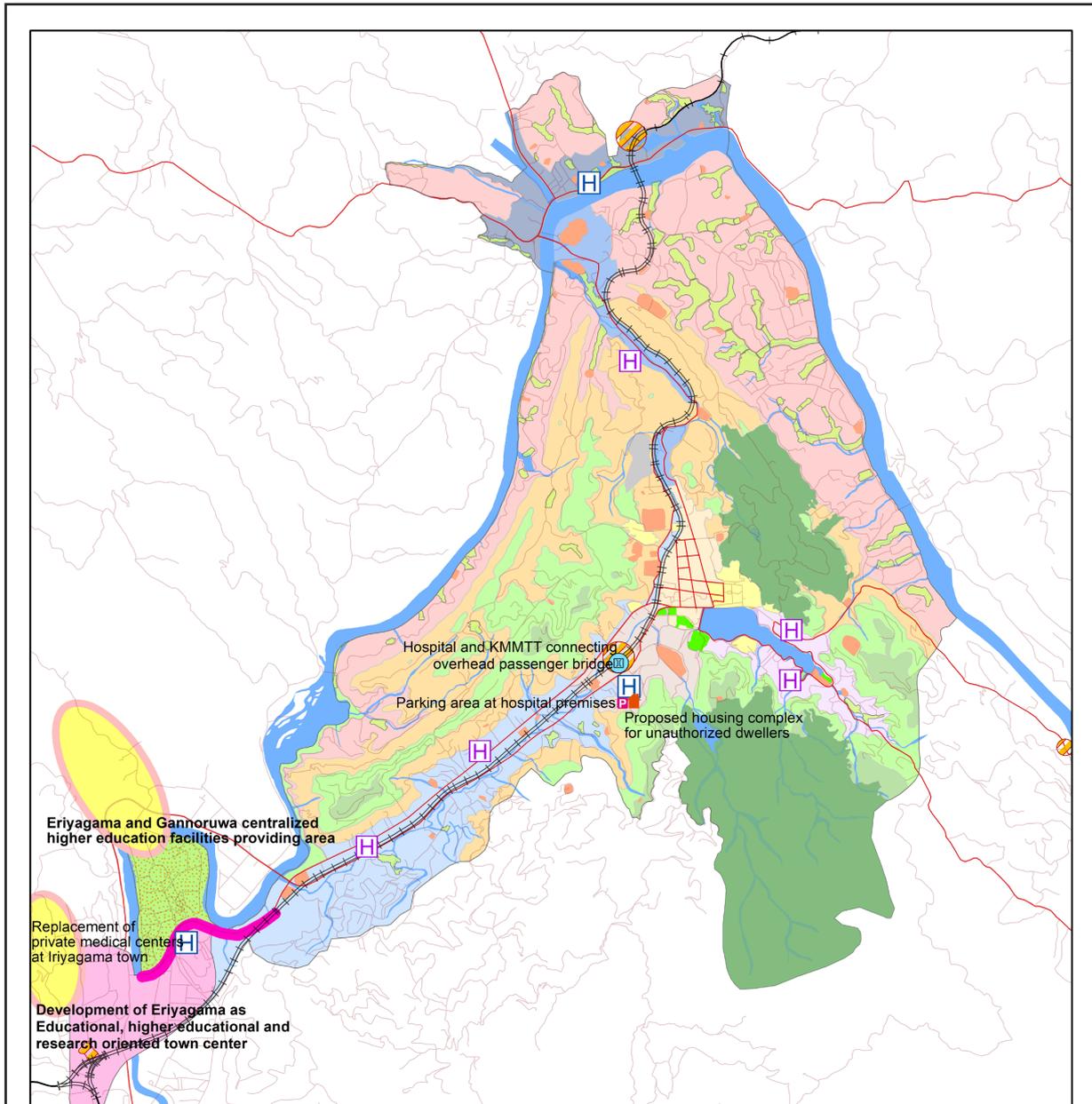
The Kandy hospital land spreads over 58.7 acres, in which 27 acres has been occupied for hospital activities and balance land occupied by unauthorized

encroachers. Similarly, nearly 7500 people are visiting daily to the Kandy hospital and it may cause to increase traffic congestion within the city. Consequently, lack of parking at the hospital premises is another reason for traffic congestion.

Therefore, it will not be allowed to establish or expand of health institutions including Kandy main hospital, private or government subsidiary health centers within the city area. It is proposed to be developed Peradeniya town as Health and Research sector. High rise residential schemes will be introduced for residents who lived in Kandy main hospital premises and other encroaches. The liberated land will be utilized for two proposals, one is to minimize hospital congestion and to mitigate uneasy conditions and second is to construct parking area for 500 vehicles to reduce parking problems.

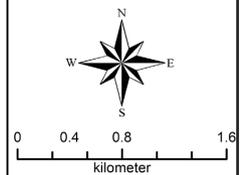
Further, it is planned to develop alternative roads and pedestrian facilities for people who come to get services from the hospital. For this purpose, it is proposed to build proper link between Kandy railway station and Good shed bus stand, by doing this, it is expected to provide facilities for hospital uses and to reduce traffic congestion

Map 6: Health services Supply Plan



**Legend**

- |   |  |                             |
|---|--|-----------------------------|
| —+— Railway line  | Peradeniya health services area  | Cemetery                    |
| — Main road   | Eriyagama and Gannoruwa centralized higher education facilities providing area | Park                        |
| — Other road  | Peradeniya health services area  | Playground                  |
| ▨ Satellite parking terminals   | Private hospitals  | Water Body                  |
| P Parking area at hospital premises                                       | Government hospitals   | Conserved low line lands    |
| 🏠 Proposed housing complex for unauthorized dwellers at hospital premises |  | Peradeniya botanical garden |
|   |  | Conserved Forest            |



**HEALTH SERVICES PLAN**

Kandy Municipal Council Area Development Plan 2021-2030

**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority

Prepared by: N.H.D. Wijethunga

Prepared Date: 27/10/2020

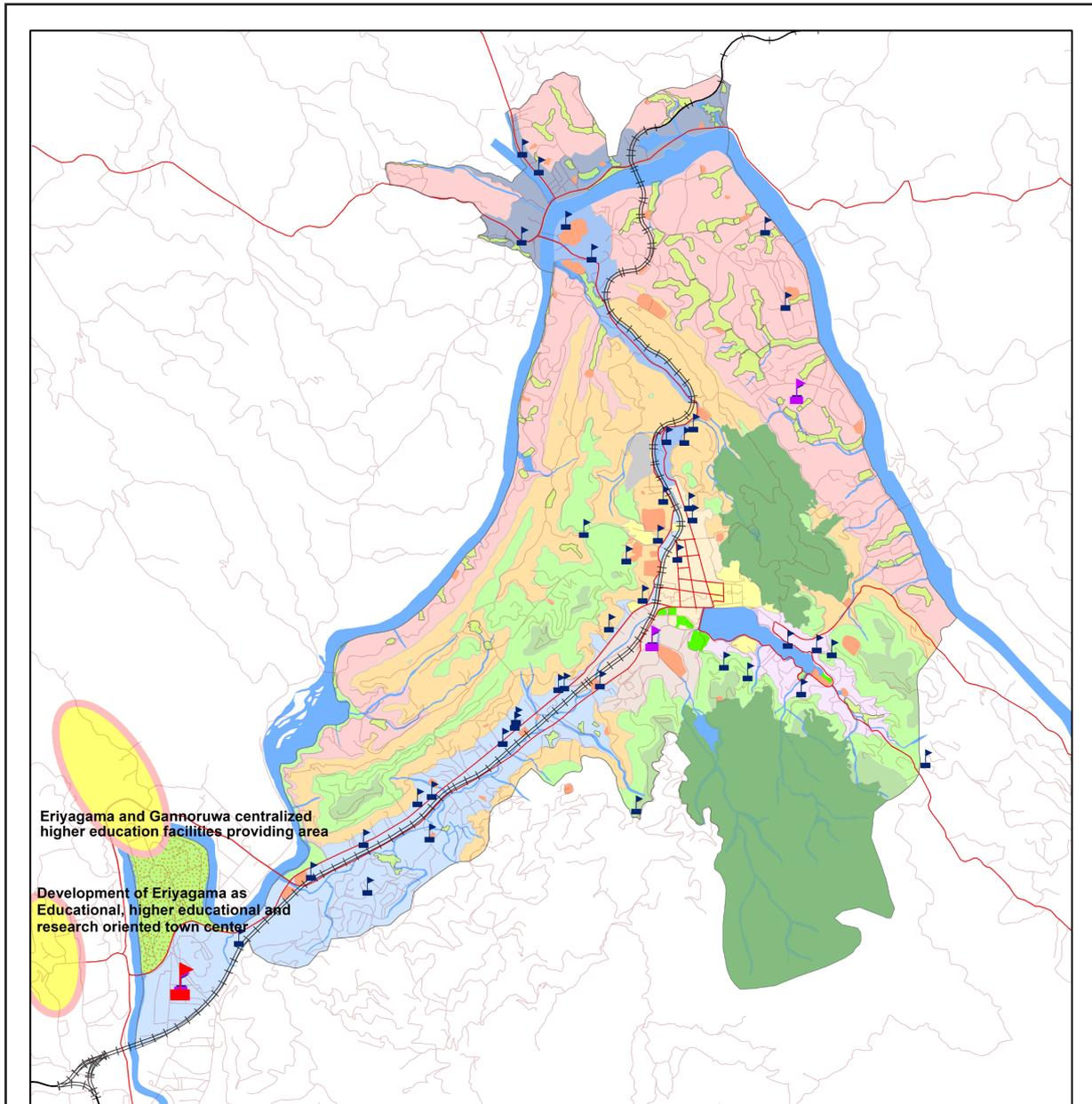
### **6.3.1.2 Educational Service Plan**

There are 41 number of Government schools, 65076 number of students and employ 3177 number of teachers within the Kandy city, in which except 06 number of National schools, other 35 number of schools are under Provincial administration. The teacher students' ratio which followed by the Education Department is 1:28, in view of the total schools in Kandy city this ratio is 1:20 remaining considerable status. Further there are 07 number of Semi-Government schools, 28 number of Primary schools, 09 number of International schools, and 21 number of Vocational Training institutions located within the city and a special place and dignity has been acquired by the University of Peradeniya in higher education sector. (Annexure 26)

To provide educational facilities for increasing population within the city and lack of space for expansion of popular schools because of the competition among popular schools were identified as problems at present. From Student population, 71.4% students who come for educational need use private vehicles. Similarly, most of schools were located on the main roads of the city and within the city causing heavy traffic problems.

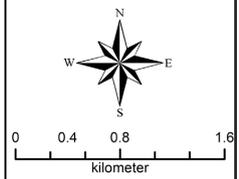
This development plan will discourage development activities which increase student population within the city limits. It is promoted Primary schools out skirt of the city limits, namely, Eriyagama, Pilimathalawa, Kundasale, and Pallekele towns to cater expected population & increased student population generated through the competition among popular schools. Peradeniya cluster city will be developed as Higher Educational & Research sector potential city considering it is a national requirement. Accordingly, facilities will be provided for new higher educational institutions within Gannoruwa and Eriyagama area

Map 7: Educational Services Supply Plan



**Legend**

- |                  |  |                               |
|------------------|--|-------------------------------|
| —+— Railway line | ■ School   | ■ Cemetery                    |
| — Main road      | ▲ Higher Educational Institute   | ■ Park                        |
| — Other road     | ■ University of Peradeniya   | ■ Playground                  |
|                  | ■ Eriyagama and Gannoruwa centralized higher education facilities providing area | ■ Water Body                  |
|                  |  | ■ Conserved low line lands    |
|                  |  | ■ Peradeniya botanical garden |
|                  |  | ■ Conserved Forest            |



**EDUCATIONAL SERVICES PLAN**

Kandy Municipal Council Area Development Plan 2021-2030

**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority

Prepared by: N.H.D. Wijethunga

Prepared Date: 27/10/2020

### 6.3.1.3 Housing Plan

There was 660 number of housing deficit reported in the year 2001, even though there were 20,612 number of Housing units prevailed for family units 20,612 in the same year. It increased up to 25,062 number of family units in 2012 and it was caused to increase housing units up to 26,722. Accordingly, the housing surplus was 1660 in 2012. Even if this figure indicates the growth of housing sector, but it was not increased as population growth in the same period. It may be sub division of one unit into several units. Considering number of family members in one family as 4, 26,500 numbers new houses will be estimated for the forecasted population 106,000 in 2030. Hence, there is no housing deficit in KMC area at present.

But it is identified that, there is 4% of slums shanty and row houses and 37 number of underserved settlements comprises of 2176 number of housing units in the KMC area. These settlements spread over 80 acres in land and out of total population, who lived in those settlements, 71% are using less than 6 perches. This has identified as a major problem in KMC area.

It is expected to provide 25-acre land from 80 acres, for housing schemes for low income people who lived within the city limits, and 15 acres for landscaping and reservation areas for those schemes. The balance 40 acres will be allocated for other necessary development projects in the KMC area.

Low income Settlement	37
Land used for low income settlements	80 acres
Housing Units	2176
Allocated land for proposed housing	25 acres
Allocated land for reservation and open spaces	15 acres
Liberated land for development	40 acres

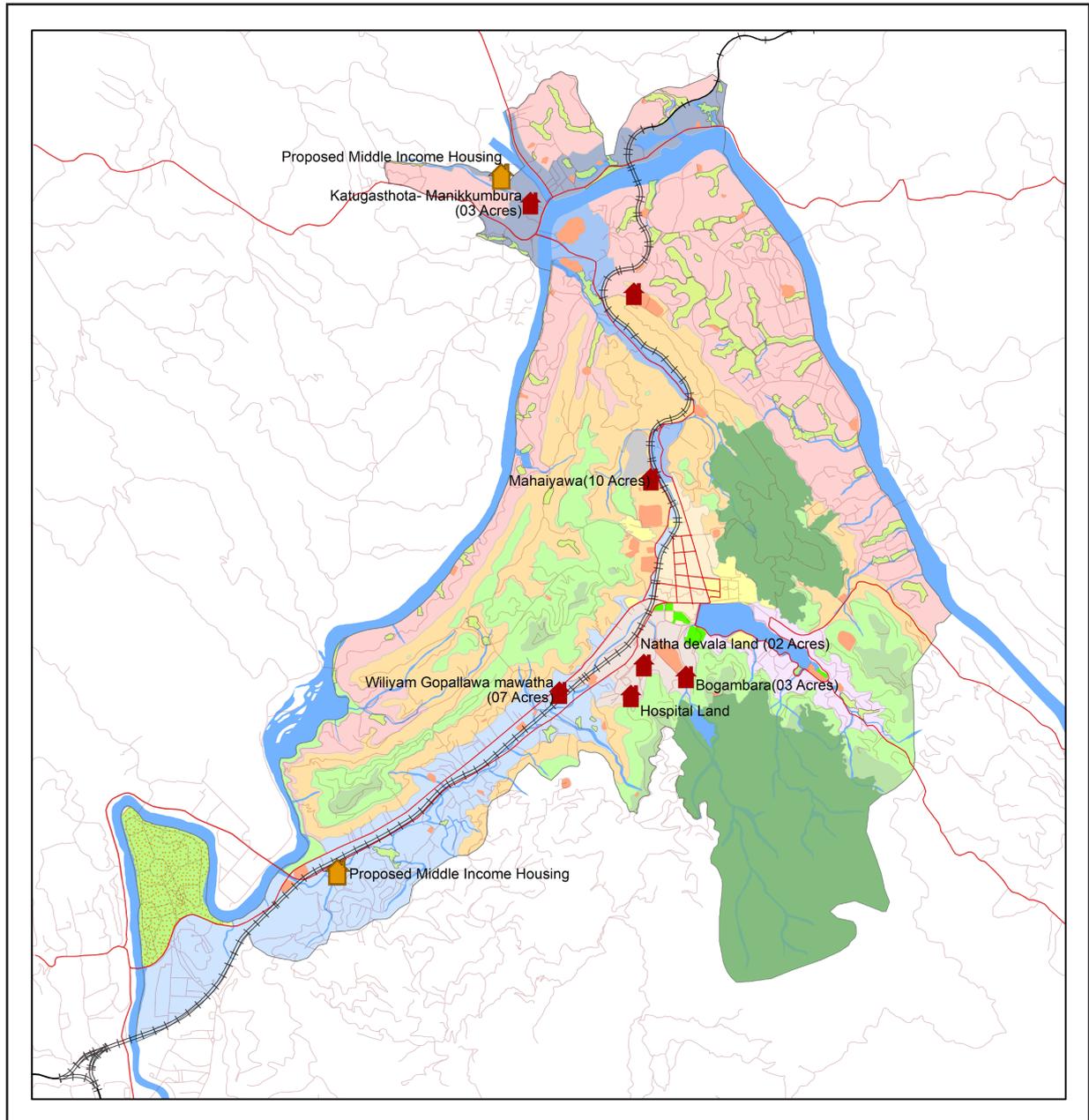
**Table 13: Proposed Housing Projects for Low Income People**

Location	Acres	No. of Units
William Gopallawa Mawatha	7	700
Mahaiyawa	10	1000
Natha Devalaya Land	2	200
Bogambara	3	300
Katugasthota Manikkumbura (Private Land)	3	300
Total	25	2500

Source: UDA, Central Provincial Office, 2018

This utility plan will be integrated with other utility plans namely proposed transport plan, proposed waste & sewerage disposal plan, proposed solid waste disposal plan and proposed environment conservation plan and through this plan it will be able to provide houses for low income people and efficiency urban process. further it fulfills one of goals stipulated by this plan that is providing less traffic, comfortable living environment to citizen.

**Map 8: Low Income Housing Projects Plan**



**Legend**

- |  |                               |
|--|-------------------------------|
| —+— Railway line                         | ■ Cemetery                    |
| — Other road                             | ■ Park                        |
| — Main road                              | ■ Playground                  |
| ■ Low Income Housing Development area    | ■ Water Body                  |
| ■ Middle Income Housing Development area | ■ Conserved Forest            |
|  | ■ Conserved low line lands    |
|  | ■ Peradeniya botanical garden |



0 0.4 0.8 1.6  
kilometer

**HOUSING DEVELOPMENT PLAN**

Kandy Municipal Council Area Development Plan 2021-030

 **URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority

Prepared by : N.H.D. Wijethunga

Prepared Date : 27/10/2020

## **6.3.2 Proposed Transport Plan**

### **6.3.2.1 Introduction**

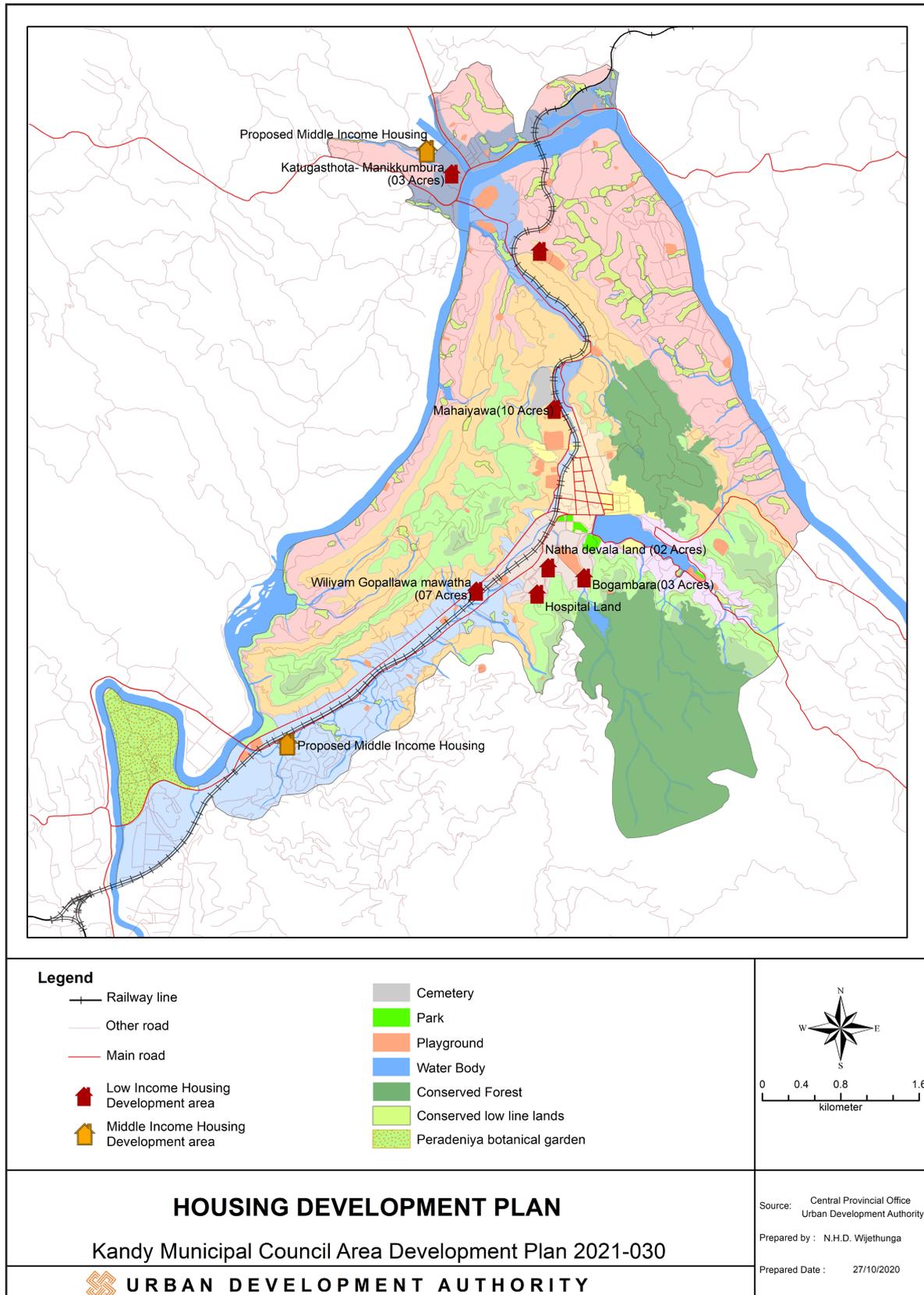
Kandy MC, extent of 26.45 km<sup>2</sup> and having 102,459 population in 2012, it is forecasted 106,000 population in 2030. Accordingly, the expected future direction of transport sector for the year 2030 will be enlightened by this plan.

It has already been forecasted total population in 2030 will be 106,000 and daily migrant population will be 403,000. From present population, 60% use public transport services, 2% use railway transport services, 37% use private vehicles and pedestrians are only 1%. People face lot of difficulties when using the city and passing the city because of heavy traffic jam. To provide smooth transport system minimizing traffic congestion, public transport service should develop up to 12% and private vehicle usage should discourage up to 13% in future. Accordingly, it is expected to change the above-mentioned usage of transport mode in 2030 as 70% increase for public transport, 4% increase for railway system, 24% decrease for private vehicle uses and 2% increase for pedestrians.

Further, confusion and un-easy environment could form in the city when people who lived within the city and arriving the city, gaining their daily needs and services. Thus, if vehicles stagnate on the roads for a long time within the city which is located very special geographic condition, may indirectly affect to increase air pollution. Accordingly, through this plan it is anticipated to create smooth transportation service minimizing traffic congestion. The goal of this plan is to encourage public transport mode by discouraging private vehicle usage. Through this plan, citizen of the Kandy MC area and people who use the city will gain comfortable life pattern and furthermore, it will provide the background of the path to achieve its vision of “The Glorious Hill Capital”.

### 6.3.2.2 Transport Plan

Map 9: Transport Plan



### 6.3.2.3 Integration with Proposed Strategic Projects & Other Plans

It is proposed to create cluster vehicle parking places in Peradeniya and Katugasthota Railway stations area and Thannekumbura suburban center to develop city efficiency through smooth transport services. Park & Ride system will be introduced in these areas providing facilities for private vehicles, private buses, school busses and three wheelers. Kandy Multi Model Transport Terminal(KMMTT) will be created by integrating all bus stands spread over the city, Good Shed main bus stand and Railway station. For this reason, it is necessary to improve roads and to have a sound transport management plan. The high parking fees will be adopted close vicinity of KMMTT to discourage vehicle coming in to the city centre, and reducing parking fees in suburban area parking lots to encourage for private vehicle parking.

**Figure 40: Kandy Proposed Multi Modal Transport Terminal(KMMTT)**



Source: Strategic Cities Development Project – 2017

Roads surrounding railway station will be improved for effectively operation of the KMMTT. It includes widening of Roads, Junctions Improvement, new road construction etc. An Inner circular road will be designed connecting Peradeniya, Katugasthota and Thannekumbura suburban centres. The alternative roads that connect with main arterials will be developed in parallel to the proposed highway (Outer Circular Road). Through promoting urban development functions in cluster parking terminals, Commercial and Administrative functions will be promoted in the city centre main transport terminal.

Park and Ride concept will be experiment by developing existing railway station and creating Park & Ride areas surrounding railway station. There will be two new railway stations in between main railway station and Asgiriya railway halt on commuters' requirement, hoping to provide smooth

transport services. The transport service will be developed in suburban areas connecting KMMTT, double track railway line project, alternative road development project and other projects etc. In additionally, this plan concentrates pedestrian area development by implementing open spaces and pedestrian path development, fly overs, pedestrian tunnels and pedestrian bridge projects.

This plan is integrated with other plans namely proposed utility Plan, proposed economic plan, and proposed heritage and cultural plan. By implementing, projects it will be able to provide comfortable living pattern minimizing traffic congestion and efficient urban process for the citizens as well as people who use the city by then able to fulfill the goal of the plan.

### **6.3.3 Proposed Water Supply Plan**

#### **6.3.3.1 Introduction**

The proposed water supply plan has been prepared by considering the forecasted population who live within the city and the people who use the city in 2030. The forecasted population in 2030 will be 106,000 and the daily commuter population will be 403,000.

Mahaweli River, Rosnith Reservoir and Dunumandalawa Tank are the main water sources of water supply and daily water production is 36,000 cubic meters approximately. Since the total population and migratory population within the KMC in 2012 was 102,459 and 325,000 respectively and the daily water consumption was 46,100 cubic meters the balance 10,100 cubic meters had to purchase from the National Water Supply & Drainage Board. Accordingly, when considering water consumption of one domestic person is 270 liters per day and the daily consumption of a migratory person is 76 liters per day, the required water quantity for the forecasted population 106,000 in the year 2030 will be 22,260 cubic meters per day. Similarly, for the requirement of forecasted migratory population i.e. 403,000 in the year 2030 will be 30,667 cubic meter per day. Consequently, the total water requirement is 52,927 cubic meters per day and it is noticeable that there is a deficit of 6,027 cubic meters in the year 2030.

It is evident that the water quantity owned by the KMC will not be sufficient for the daily needs in 2030. It is identified that the inability of 24 hours' water supply for the MC limits of Heerassagala, Pitakanda, & Kurunegala Road and Madawala Road because of the low pressure of water supply. The KMC water supply scheme which was established in 1966, provides water cubic meter 28,400 for KMC area per day. This scheme was renovated in 1992 and it must be repaired at present.

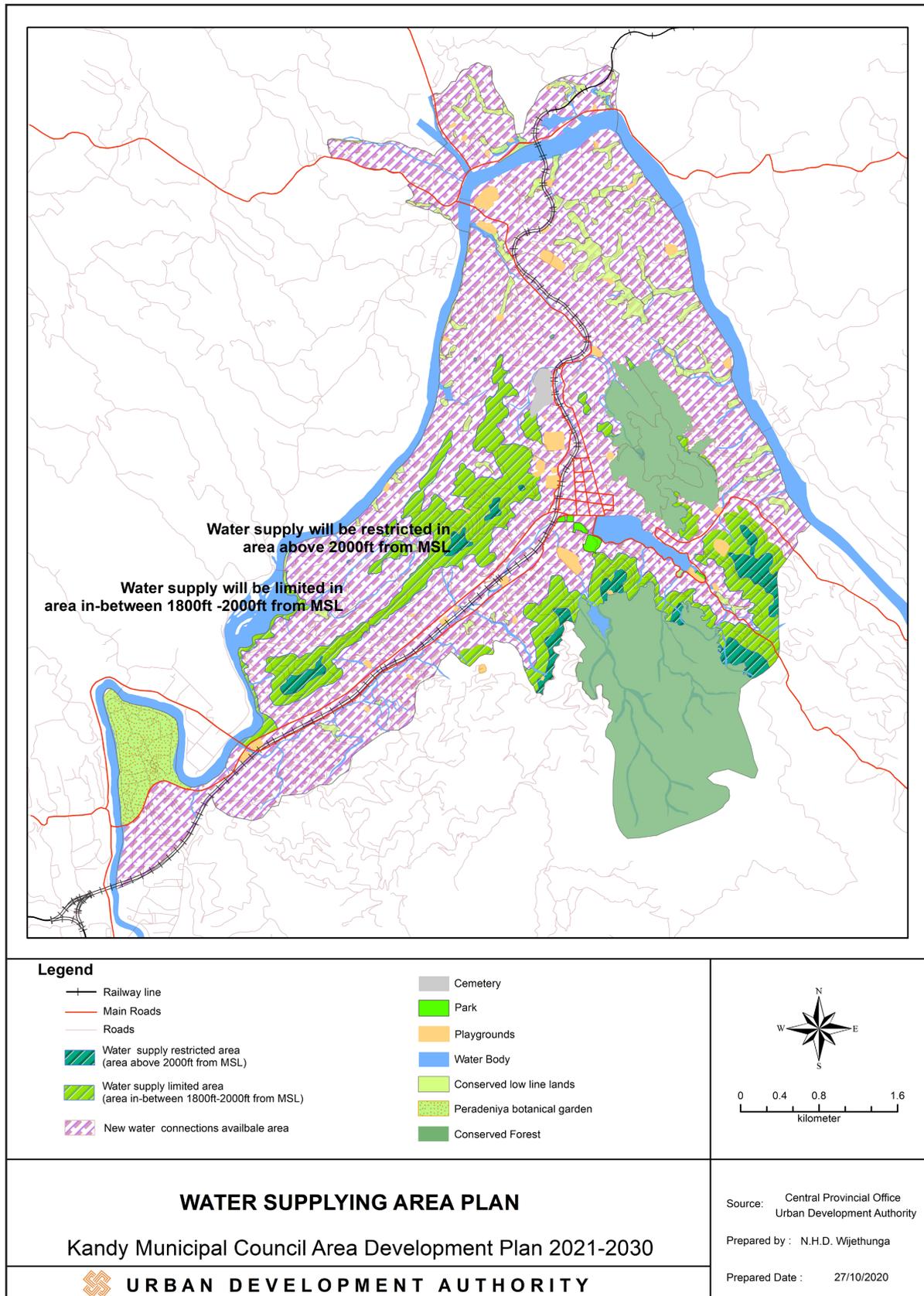
Because of the infrastructure facilities were given areas where terrain

value more than 1800 fts from mean sea level, development activities were spread over in those areas. This may cause to arise problems such as disrupting environment landscape of the city area as well as blocking the scenic beauty of the area.

Through this plan, it will be able to deliver regular water supply system to the citizen of the KMC and the migratory people by increasing water capacity of existing systems and increasing water pressure of water supply lines to suitable for future needs, and limiting water supply for vulnerable areas will be a background to achieve the vision of “The Glorious Hill Capital” stipulated by this plan.

### 6.3.3.2 Water Supply Plan

Map 10: Proposed Water Supply Plan



### **6.3.3.3 Integration with Proposed Strategic Projects and other Plans**

A land will be allocated near Devani Rajasingha Mawatha, close to Mahaweli River to accumulate and purify water to be minimized the above mentioned problems and to increase water capacity enabling to fulfill future water requirement.

The water quantity purchases from the NWS&DB and required water quantity for 2030 to be produced through the Kandy KMC water supply scheme, the capacity of Gatambe water purification centre will be upgraded and developed.

To gain green and blue environment, the development activities will be limited the areas identified more than 548,6 m (1800 fts) higher from the mean sea level, such areas recognized as environment zone I and will not provide water supply. In environment zone II, will get water for approved uses only.

The new water connections permitted zones are in residential zone, mixed development zone, commercial zone I, commercial zone II, Concentrated commercial zone III. Existing water supply scheme will be renovated to supply water with high pressure where those have low pressure.

This water supply plan will be integrated with Proposed Utility Plan, Proposed Economic Plan, Proposed Heritage and Culture Ceremony Plan and Sustainable Environment Development Strategies, through these strategies, it can provide comfortable life and green and blue environment to the citizen and uses of the city. Thus, it will be able to achieve its goals. Further, it is able to achieve goal of protecting scenic beauty of the city and to preserve 1/3rd of the area from top of the mountain range.

### **6.3.4 Proposed Electricity and Data Cable Network Plan**

#### **6.3.4.1. Introduction**

The proposed Electricity and Data Cable Network Plan has been prepared by considering the future needs, forecasted population who live within the city and the people who use the city in 2030.

The present electricity supply has been disseminated via utilizing 16 number of soft-substations and 3 number of primary substations, taking 50 megawatt electricity from National Grid Substations at Kiribathkumbura and Polgolla.

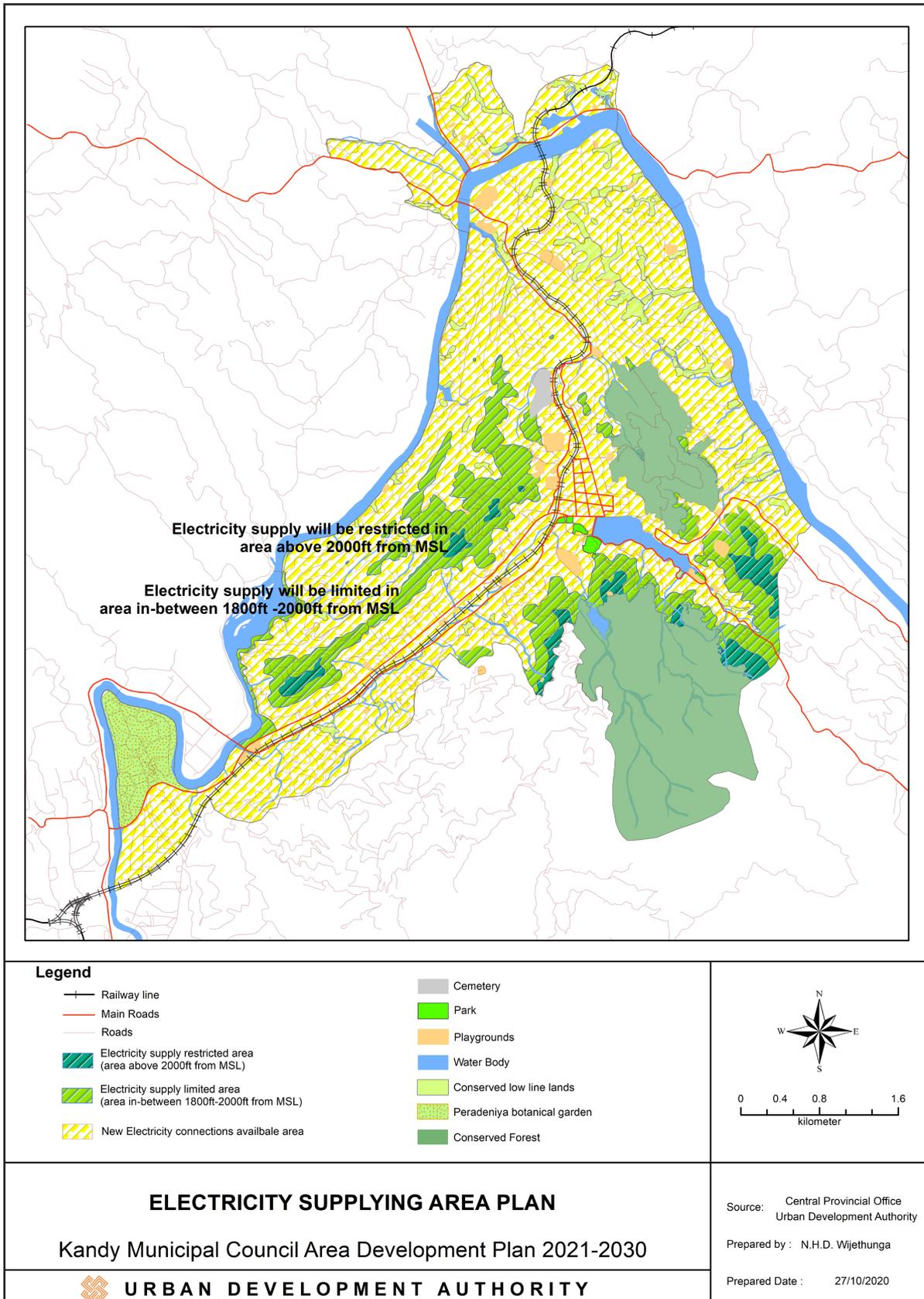
There is no shortage of supplying electricity within the KMC. its covers 100% of the KMC area. Accordingly, there will no considerable problem of supplying electricity for forecasted population, 106,000 and commuter population, 403,000 in the year 2030.

Because of the infrastructure facilities were given areas where terrain value more than 548.6 m (1800 fts) from mean sea level, development activities were spread over in those areas. This may cause to arise problems such as disrupting environment landscape of the city area as well as blocking the scenic beauty of the area. Location of lamp post outside and inside of the city may problem for pedestrians and moreover scenic beauty of the city. this has been identified as a problem at present.

Protecting scenic beauty of the city and providing orderly electricity supply for the citizen as well as people who arrive to the city, by limiting supply of infrastructure for development activities areas identified as vulnerable areas, will upbringing to achieve the vision of “The Glorious Hill Capital” stipulated by this plan.

### 6.3.4.2 Electricity Supply Plan

Map 11: Proposed Electricity Supply Plan



### **6.3.4.3 Integration with Proposed Strategic Projects and other Plans**

There are no firm limitations for development activities in Commercial Zone I, Commercial Zone II, Commercial Zone III, Mixed Development Zone I, Residential Zone, provided those areas terrain value below 548.6 m (1800 fts) from the mean sea level and electricity will be supplied without restrictions. To create blue and green environment, there are restrictions areas which has terrain value more than 548.6 m (1800 fts), that is if such area in Environment Zone I, electricity will not be supplied and if such area is in Environment Zone II, approved development activities will receive electricity connections.

It is persuaded to introduce an underground electricity cable system in 2030 to minimize obstacle faced by pedestrians and to protect scenic beauty of the city in future.

Accordingly, this electricity and Data Cable Network Plan will be combined with proposed services plan, proposed heritage & cultural ceremonial plan and sustainable environmental development strategies finally through this plan it is expected to create blue and green environment and comfortable living atmosphere for the citizen of KMC and people who use the city. Further the goal of preservation of higher elevation mountainous areas from ad-hoc development, will be fulfilled by this plan.

## **6.3.5 Proposed Wastewater and Sewerage Plan**

### **6.3.5.1 Introduction**

The proposed Wastewater and Sewerage Plan has been prepared by considering the future needs of forecasted population who live within the city and the people who use the city in 2030. Underground drainage system was in the KMC area in British era but every road didn't have a drainage system. The wastewater project is being carried out in metro area under the assistance from JICA – Sri Lanka agreement covers 733 hectares in KMC area.

If it is assumed, the amount of wastewater & sewer releasing by one person is, 0.76 cubic meters waste water & sewer, 0.78 cubic meters from one hospital bed, and 20 gallons from migratory person, then the total wastewater & sewerage amount is 64,344 cubic meters in 2012. The total estimated amount of wastewater & sewerage for estimated population, estimated migratory people and the estimated amount of beds in a hospital will be 71,590 cubic meters in 2030.

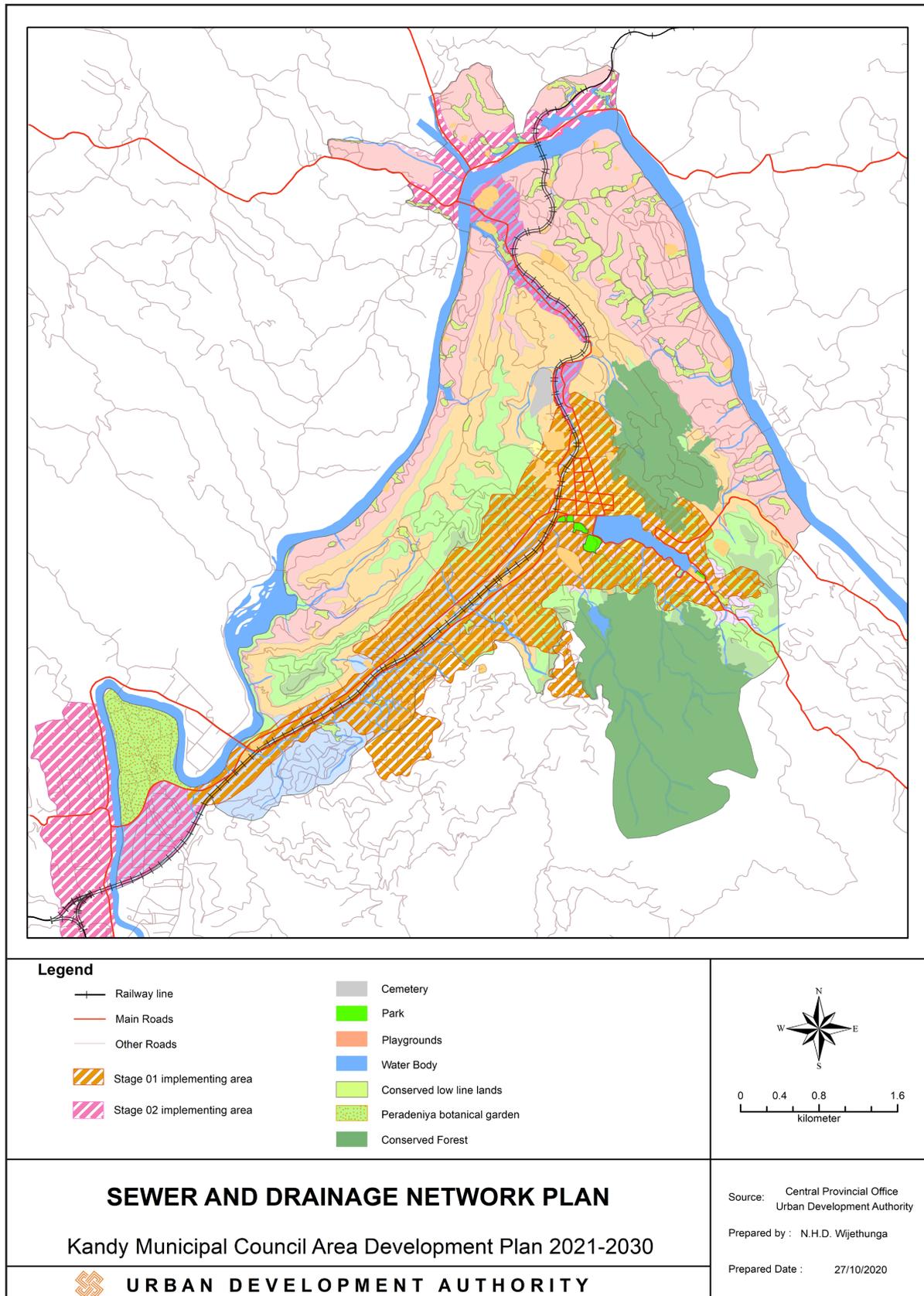
The current project is able to purifying 14,000 cubic meters wastewater covering 55,000 residences, 150,000 commuter people and 12,600 business and buildings. It is obvious that this project cannot cover the

future requirement therefore, it has to be expanded. Similarly, releasing of wastewater and sewer to natural water sources in the city has been polluted and it became a huge problem. By accumulating this polluted water with Mahaweli River and those use to manufacture drinking water, because of this purification cost has increased tremendously. Further drainage system within the city is very old one and it didn't cover all roads, could be identified as a problem.

Accordingly, through the systematic implementation of wastewater & sewerage system for identified residential areas, Katugasthota & Peradeniya suburban centres, identified development corridors and establishing a systematic drainage system within the city, can be able to protect city scenic beauty & city environmental sensitivity by then it provides the pathway to achieve the vision of "The Glorious Hill Capital".

### 6.3.5.2 Proposed Wastewater & Sewerage Plan

Map 12: Proposed Wastewater & Sewerage Plan



### **6.3.5.3 Integration with Proposed Strategic Projects and other Plans**

It is proposed to expand the existing wastewater & sewerage project area which covers from Gatambe to Kandy Development Zone & city centre, to Katugasthota town and surrounding area. A proposal will be made to use private septic tanks and soakage pits in other areas, assuming to limit or control large scale development activities.

City centre drainage system will be renovated, and develop drainage system to cover proposed development corridors and suburban centres, and areas currently not having drainage system. Further, Natural water sources within the city will be re-established and reservations will be introduced. By introducing proper landscape methods for Ela reservation areas, soil erosion could control.

Accordingly, this wastewater & sewerage plan will be combined with proposed services plan, proposed heritage & cultural ceremonial plan and sustainable environmental development strategies, finally through this plan it is expected to create blue and green environment and comfortable living atmosphere for the citizen of KMC and people who use the city. further, the goal of city scenic beauty could be gained by preserving 1/3 of upper limits of mountainous areas, implementing expanded wastewater and sewerage project area to cluster cities and identified development corridors in Peradeniya and Katugasthota and re-establishing 100% existed water sources in the year 2030.

### **6.3.6 Proposed Solid Waste Management Plan**

#### **6.3.6.1 Introduction**

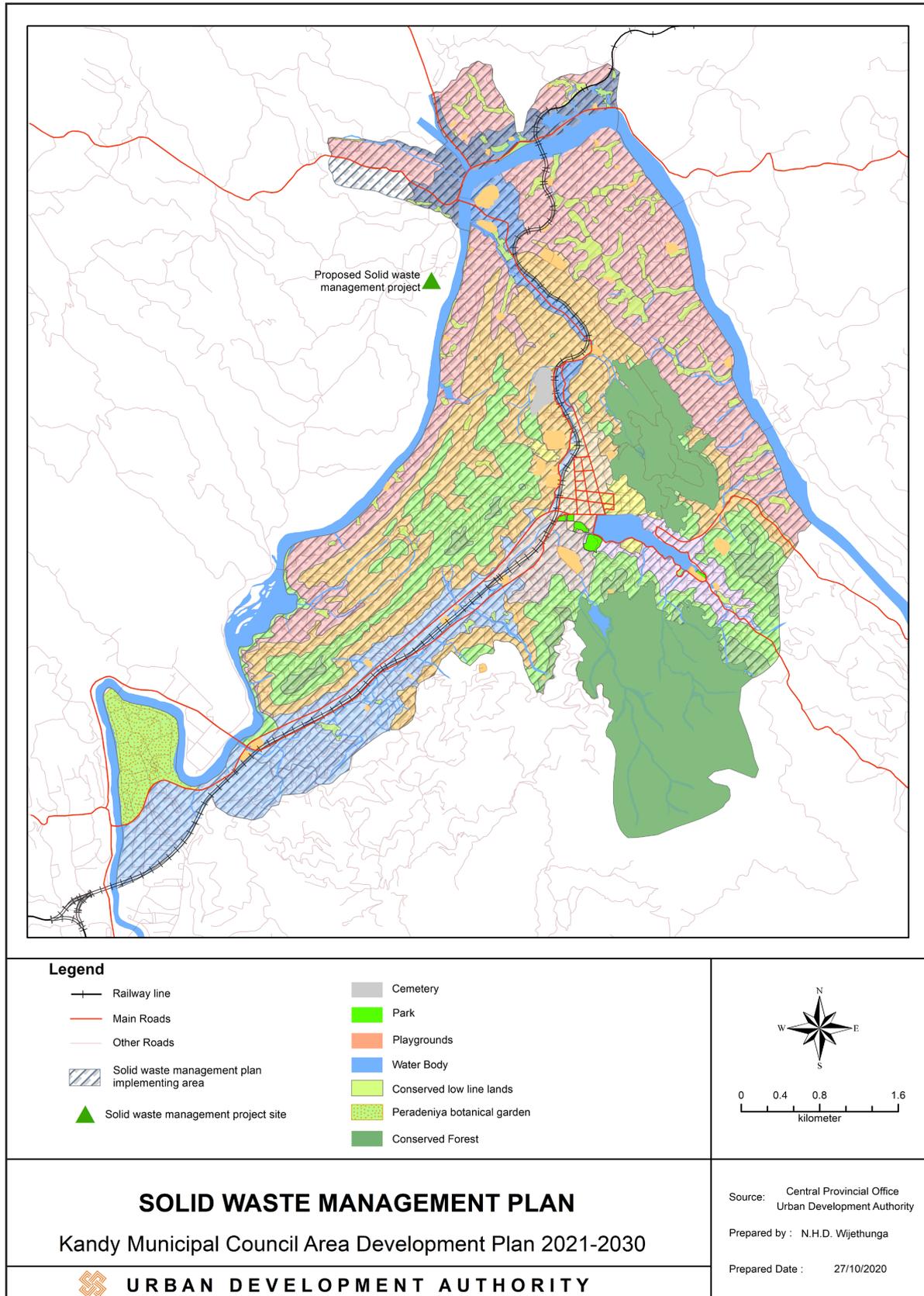
This plan was prepared based on the future needs of solid waste management system by considering forecasted population within the city in the year 2030 and for people who use the city in 2030.

The collection of solid waste amount in KMC area is 150 tons per day and in which 88% decayed waste and 12% not decayed waste. Solid waste collection has been done by division wise, dividing KMC area into six units and collected solid waste were disposed to 32 acres' land in Gohagoda, Katugasthota. It is forecasted the solid waste generation in 2030 and will be 180 tons per day within Kandy municipal council area.

Accordingly, through the systematic implementation of solid waste management system for identified residential areas, Katugasthota & Peradeniya suburban centres, identified development corridors, can be able to protect city scenic beauty & city environmental sensitivity by then it provides the pathway to achieve the vision of "The Glorious Hill Capital".

### 6.3.6.2 Proposed Solid Waste Management Plan

Map 13: Proposed Solid Waste Management Plan



### 6.3.6.3 Integration of Proposed Strategic Projects and other Plans

It is proposed to implement this Solid Waste Management Plan covering KMC area to create blue and green environment and comfortable living environment.

Through this plan an orderly system will be introduced to collect and disposal of solid waste within the Kandy city. Hence, decayed solid waste will be collected three days per week and non-decayed solid waste will be collected in weekends. If collection of solid waste quantity more than 10 kg from commercial and hotels uses charge will be enforced. The regulations will be introduced for Hotels which generate solid waste more than 100 kg. For establishment of a bio gas system and when requesting development approval their solid waste management plan should be submitted for approval with the building plan.

**Table 14: Strategies to be identified for Solid Waste Management**

<b>Activity</b>	<b>Description</b>	<b>Implementing Agency, Expected Group</b>
Holding Awareness program	Leaflets, posters, stickers, house by house motivation, group meetings, mass meeting and art competitions	KMC, NGOs, Civil Societies, Environment Groups, Private and Corporate Institutions, Civil organizations
Enhancement of Institutional Capacity and Building Capacity	Workshops, Field Inspections, Giving Advises, Practical activities	KMC, Corporate Institutions
Improvement of Transport Facilities	Restitution of Roads, Updating Collection Centres	KMC
Shining Materials	Establishing a center for collecting of shining materials	KMC, Health Department and Health Societies
Recycling	Holding economic development activities	KMC, NGOs, Civil Societies, Environment Groups, Private and Corporate Institutions, Civil organizations

Starting Compost Centers	Land, Plan, Construction, Equipment	KMC, NGOs, Civil Societies, Environment Groups, Private and Corporate Institutions, Civil organizations and Women Organizations
Cleaning City	Volunteer work for cleaning dirty urban zones	KMC, NGOs, Civil Societies, Environment Groups, Private and Corporate Institutions, Civil organizations
Rehabilitation of Gohagoda waste disposal destination	Manufacturing of compost by using waste disposed at Gohagoda, managing under R4 strategies and Production of Power & Energy	KMC, NGOs, Civil Societies, Environment Groups, Private and Corporate Institutions, Civil organizations

Source: Strategic Cities Development Project – 2030

The methods of holding Public awareness programs will be introduced. Further to expand and develop the existing disposal area from 10 acres to 32 acres and power generation project will be established within it.

Thus, this Solid Waste Management Plan will be combined with proposed services plan, proposed heritage & cultural ceremonial plan, proposed waste water sewerage plan and sustainable environmental development strategies finally through these strategies it can be able to achieve the objectives of creating a blue and green environment and comfortable living atmosphere for the citizen of KMC and people who use the city .

## 6.4 Economic Development Strategies

### 6.4.1 Introduction

The backstage of building a self-sufficient economy and strengthening of existing economy has been introduced through this plan.

Contribution of Gross Domestic Production of the Central Province in 2015 was 10.3% and it takes 4th place of the all provinces. Percentages of contribution to the national economy was 60.2% from the Service sector, 21.8% from the Industry sector and 10.8% from the Agriculture sector. Economically active population from the total population is 46.9% and when

deducting unemployment number, net economically active population is 43.9% from the total population.

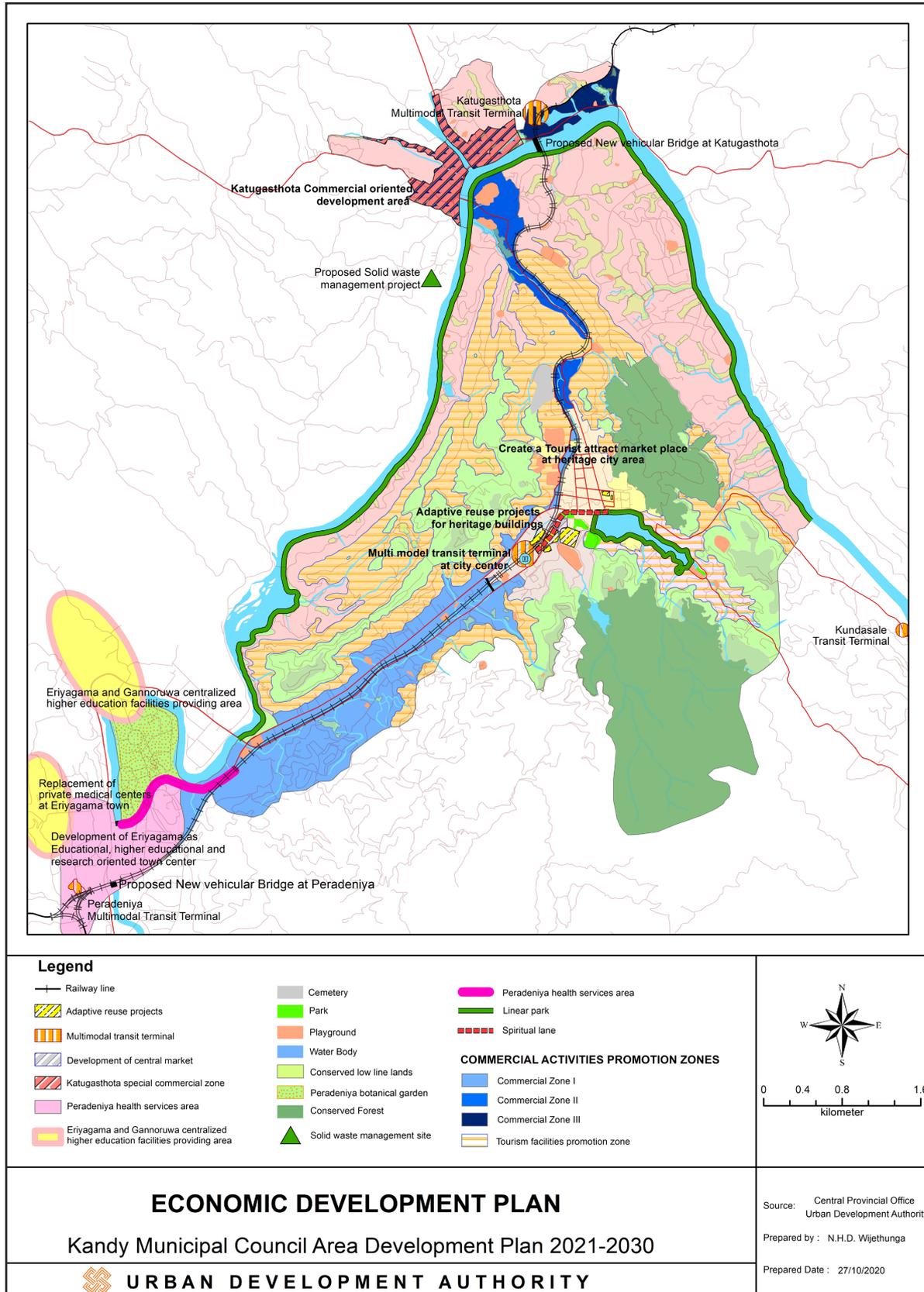
There are 334 nos. hotels in Kandy city and supply approximately 18, 510 number of rooms. In the time duration of 2011 to 2016, the night stay of tourist in ancient cities in Sri Lanka was increased 71.7% to 75.46%, increasing rate is 3.76%. If assumed the average of night stay will increase by 0.75% annually, then it will be increased 10.53% in the year 2030. But currently there is a shortage of 850 rooms in the city. Additionally, more than 15,000 job opportunities could be able to generate related to the tourism industry in 2030.

The main income source of Kandy city is from service sector and it based on the tourism industry. The resource owned by Kandy city has not been used for the enhancement of tourism industry is the identified main problem which Kandy city at present. Similarly, lands in high value range (approximately 46 ha) are in underutilization and gradually diminishing of archaeological characters of the heritage buildings are identified other problems of the city at present.

It can be able to get self-sufficient economy through the maximum utilization of identified resources by then it would be the background to reach the vision “the Glorious Hill Capital” of this plan.

## 6.4.2 Proposed Economic Development Plan

Map 14: Proposed Economic Development Plan



### **6.4.3 Integration with Proposed Strategic Projects and other Plans**

Commercial and business places will be developed targeting the migratory population within Heritage City zone and Utility Service zone. While creating special development areas with open spaces and recreational facilities, opportunities will be opened for marketing domestic traditional goods manufactured by traditional manufacturers.

It is expected to develop narrow paths and alleys located in the city centre as specialized area. The opportunities will open for construction of tourism industry related development activities in middle density mixed development zone which under the purview of KMC area adjoining Mahaweli River and Heritage area zone, Lake Around zone and Utility Service zone as well.

Necessary infrastructure facilities will provide in Katugasthota area encouraging large scale business and wholesale functions and discourage those activities in city centre area. In doing so, it is expected to increase the transactions with people who arrive to the city, by then city economy will be improved.

The underserved settlements which spread over 80 acres within the city area, will be re-established with new housing schemes taking 25-acre land from 80 acres and will be providing landscaping and open spaces in 15-acre land area. Balance 40 acres will be utilized for various developments in different zones.

Special development system will be launched aiming tourism industry integrating Police quarters area, Bogambara Prison area, KMC Library, Rooftop of KMC car parking building and Gorge E de Silva Park area. Combining tourist attraction places around the city by developing outer circular road and facilities will be provided for cycling and walking path.

Thus, this Economic Development Plan will be combined with proposed service plan and proposed heritage & cultural ceremonial plan. Through this plan it would be able to achieve goal of becoming self-sufficient economic status and would be able to fulfill objectives by developing city centre area as Kandyan traditional and uniqueness small & medium industry inclination area by 2030, expanding necessary facilities for tourism industry aiming to upsurge night stay rate of tourists in Kandy up to 86% in 2030, and finally using 46 ha. Land which are presently underutilized for suitable development activities in 2030.

## 6.5 Sustainable Environment Development Strategies

### 6.5.1 Introduction

The second goal of Kandy Development Plan to fulfil its vision is to create blue and green environment by integrating natural environment with create environment. It has been identified environment conservation plan, landscape management plan and disaster risk reduction plan under the sustainable environment development strategies plan.

### 6.5.2 Incorporation with Strategic projects and other plans

Udawatta and Wakare forest reserves have been identified as forest area within the Kandy city. However, these reserves are not properly used to get its maximum benefits to the city, therefore, while preserving and using effective task, it is identified to develop those areas as facility centres for education, research and recreational places under the public recreational facility plan.

The natural environment system which has been facing huge threat because of human interventions without considering any laws and regulations on development activities. So, land use zoning plan has been prepared to prevent that threats by considering geography of the area and scenic beauty of the area. It is expected to increase green environment by designating environment zone which includes existing environment system, areas height more than 609.6m (2,000 feet) and slope of land 45° or higher areas, 75% area keeping as no construction areas where height of land ranging 548.6m – 609.6m (1800fts – 2000fts), and 50% area keeping as no construction areas where height of land ranging 487.6m – 548.6m (1600fts – 1800fts).

Warathenna Hakkinda area, vicinity of Mahaweli river where endanger fish were living and unique to Kandy, was declared as environment protection zone under the gazette no. 2024/6 dated 19th May 2017. The development activities in this area will be controlled according to the said gazette laws and regulations.

“Rajapihilla” located Rajapihilla Mawatha, and known as “Queens Bathing Place” in ancient time which watered by Heenpankandura Ela flows through Dunumadalawa forest reserve was designated as preservation place by the Department of Archaeology. This place will be preserved as tourist viewing place within this plan. Policy was prepared in 1995 to preserve natural resources preservation and in 2009, forest reservation laws were prepared to protect forest areas. The national policy was prepared in 1990 to preserve wild life. Udawatte Kale forest reserve located in KMC area, will be developed as educational & research activities to enhance educational status of the region and Sri Lanka as well.

### 6.5.3 Landscape management

Preservation of Environment systems is done through landscape management. Landscape means combination of natural Landscape and manmade landscape.

The change of Kandy landscape can be described under three headings,

1. Kandy before Colonization
2. Kandy Colonized Period
3. Kandy after Colonization to the Present

Landscape designs and plans were prepared by King and Buddhist Priests in Dalanda Maligawa premises and outer areas. This situation was changed in colonized period with introducing estate economy and it has been still alive. Cultural landscape and traditional cultural events (Dalanda procession, artifacts etc.) which unique to Kandy are included in Kandy city landscape.

When declaration of Kandy city as world heritage city, it was considered Dalanda Maligawa and surrounding area, mountainous rangers around Kandy city, forest and Kandy Lake etc. Thus protection of this environment it is proposed to protect existing environment system (as said the above) and landscaping the sides of waterways which fostered Kandy lake and watercourses from the city to Mahaweli river and to develop walking path sides of those streams. Further, it is expected to increase green environment by designating environment zone and it include existing environment system, then, areas height more than 609.6 m (2000 feet) and slope of land 45° or higher areas, and height of land ranging from 548.6m – 609.6 m (1800 ft – 2000 ft), and 487.6m – 548.6m (1600ft-1800ft), 75% and 50% area as no construction areas respectively. Similarly, to protect hard landscape with ancient value created by human beings such as buildings, monuments etc. demarcation of zoning areas and consultancy plans will be prepared.

It is expected to landscape and to develop reservation areas of Mahaweli River which was flowing around the Kandy city as recreational activity areas and open spaces and to landscape and to use some cemeteries located within the city as same purpose.

Lack of walking paths and non-exist good conditioned walking pavements are the main problems having the city at present. Therefore, all walking paths in every possible place will be renovaded or created and it will include public outdoor space plan. Development planning regulations and guidelines will be introduced to prevent construction of buildings in mountainous areas blocking visual scenic beauty of the city and to submit landscape plan along with the building plan when requesting planning approval for development activities.

#### **6.5.4 Disaster Risk Reduction Plan**

The main objectives of this plan are, to create disaster minimized area and to protect equilibrium of nature environment and manmade environment.

Planning Guidelines and regulations will be introduced for land subdivisions and land uses in disaster prone but risk minimizes areas. By then, logical land uses and subdivision land lots in rectangle shape at every occasion are emphasized.

Introducing Landscape plans as strategy for minimizing disasters and action will be taken to get approval such landscape plan with building plan before commencing the development activities. Instructions will be specified for soil conservation to minimize soil erosion and earth slips.

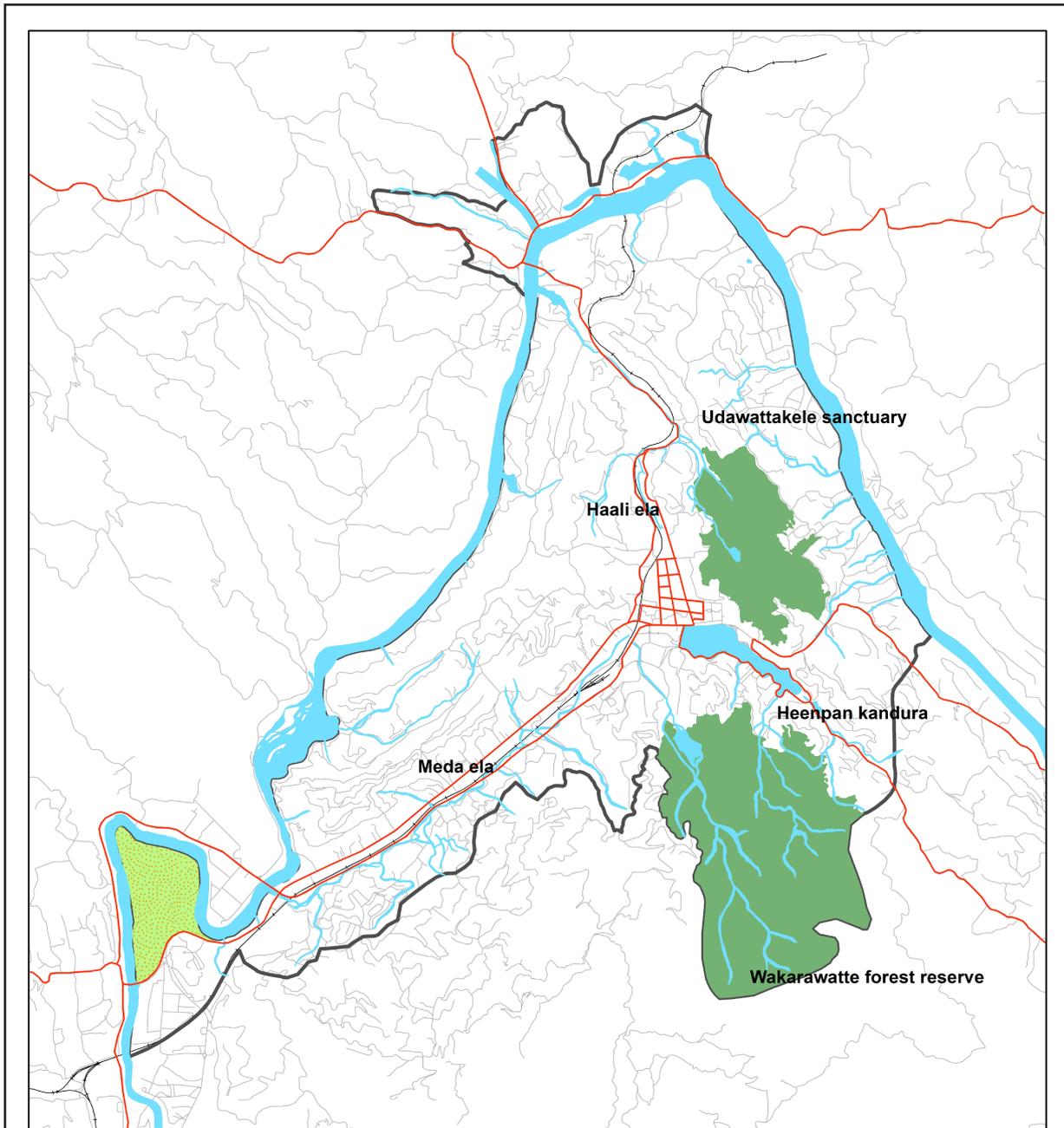
Advices will be provided for construction of buildings on mountainous areas considering its contours and for cultivation to protect soil erosion such areas and the preparation of building plans protecting scenic beauty of steep areas and tree density areas.

The areas where its height more than 609.6m (2000 feet) from the mean sea level and the slope  $45^{\circ}$ , are zoned as Environment Zone and development regulations will be introduced areas laying between 548.6m - 609.6m (1800ft-2000ft) from the mean sea level.

The main problems of having flash flood, earth slips and lands slides within the Kandy city because of building constructions without planning approval and the age of mountain range. this situation will be minimized through the implementation of below mention strategies and projects.

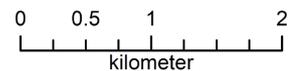
Demarcation of reservation for water sources indicated in map number 15, deciding building lines, developing and improving walking paths and recreational activities are proposed through this spaces plan. Construction of silt trap and renovation of existing silt trap for Kandy lake and other streams and expansion of the capacity of storm water drainage system to control flash flood will be proposed for Meda Ela and Hali Ella.

**Map 15: Water Sources within Kandy City**



**Legend**

- |              |                             |                  |
|--------------|-----------------------------|------------------|
| Main roads   | Municipal council boundary  | Water sources    |
| Other roads  | Peradeniya botanical garden | Conserved Forest |
| Railway line |                             |                  |



**DISTRIBUTION OF WATER NETWORK**

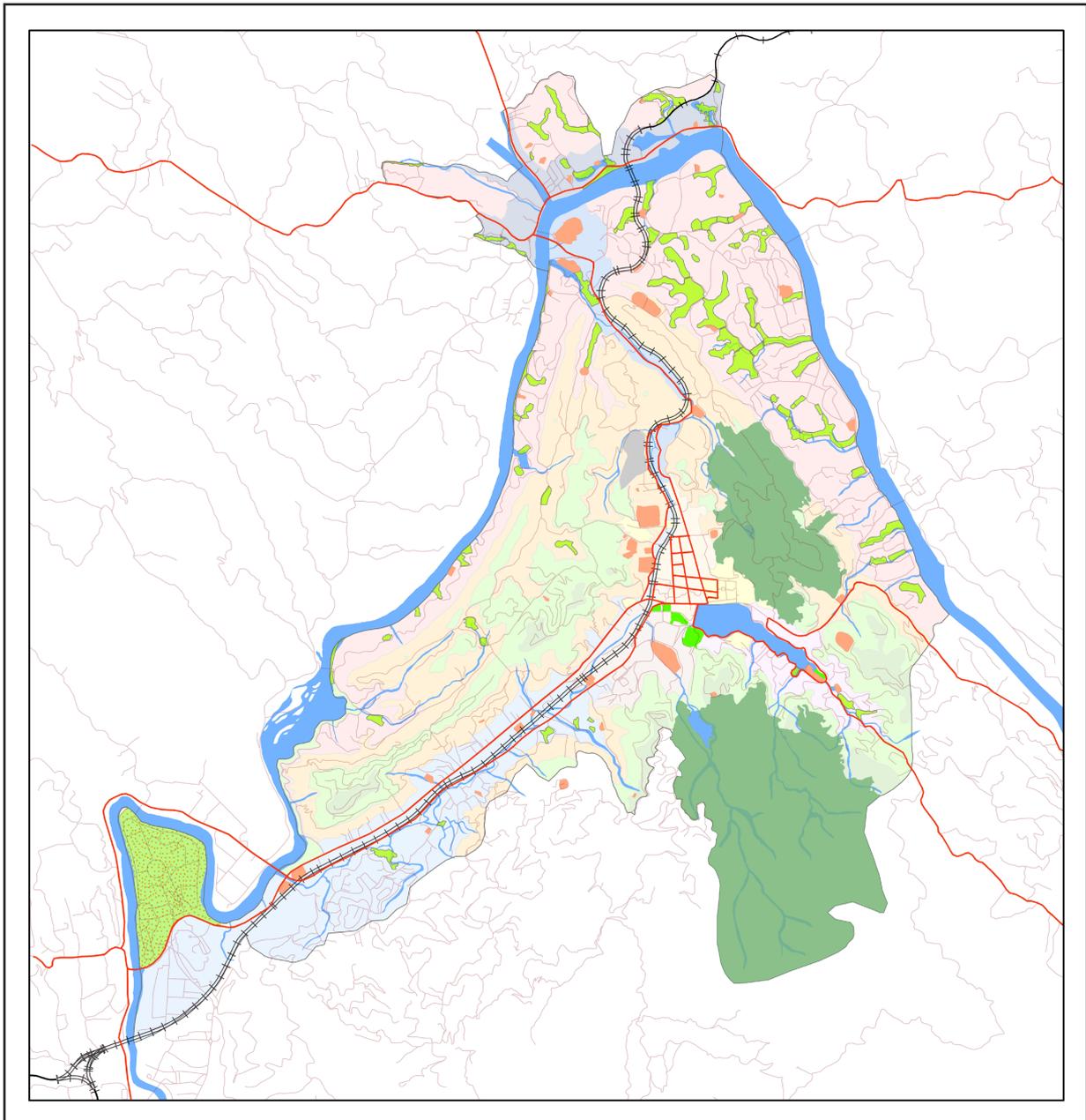
Kandy Municipal Council Area Development Plan 2021-2030

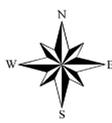
Source: Central Provincial Office  
Urban Development Authority

Prepared by : N.H.D. Wijethunga

Prepared Date : 27/10/2020

**Map 16: Conserved Low Line Lands**



<p><b>Legend</b></p> <ul style="list-style-type: none"> <li> Railway line</li> <li> Main roads</li> <li> Roads</li> <li> Cemetery</li> <li> Park</li> <li> Playground</li> <li> Water Body</li> <li> Conserved low line lands</li> <li> Peradeniya botanical garden</li> <li> Conserved Forest</li> </ul>		 <p>0 0.4 0.8 1.6 kilometer</p>
---	--	--

**CONSERVED LOW LINE LANDS**

Kandy Municipal Council Area Development Plan 2021-2030

Further, Flash flood could be minimized by allocating of paddy fields indicated in the above map (Map number 16) as water retention areas and renovation of old drainage system in city.

### 6.5.5 Public Outdoor Recreational Space Plan(PORS)

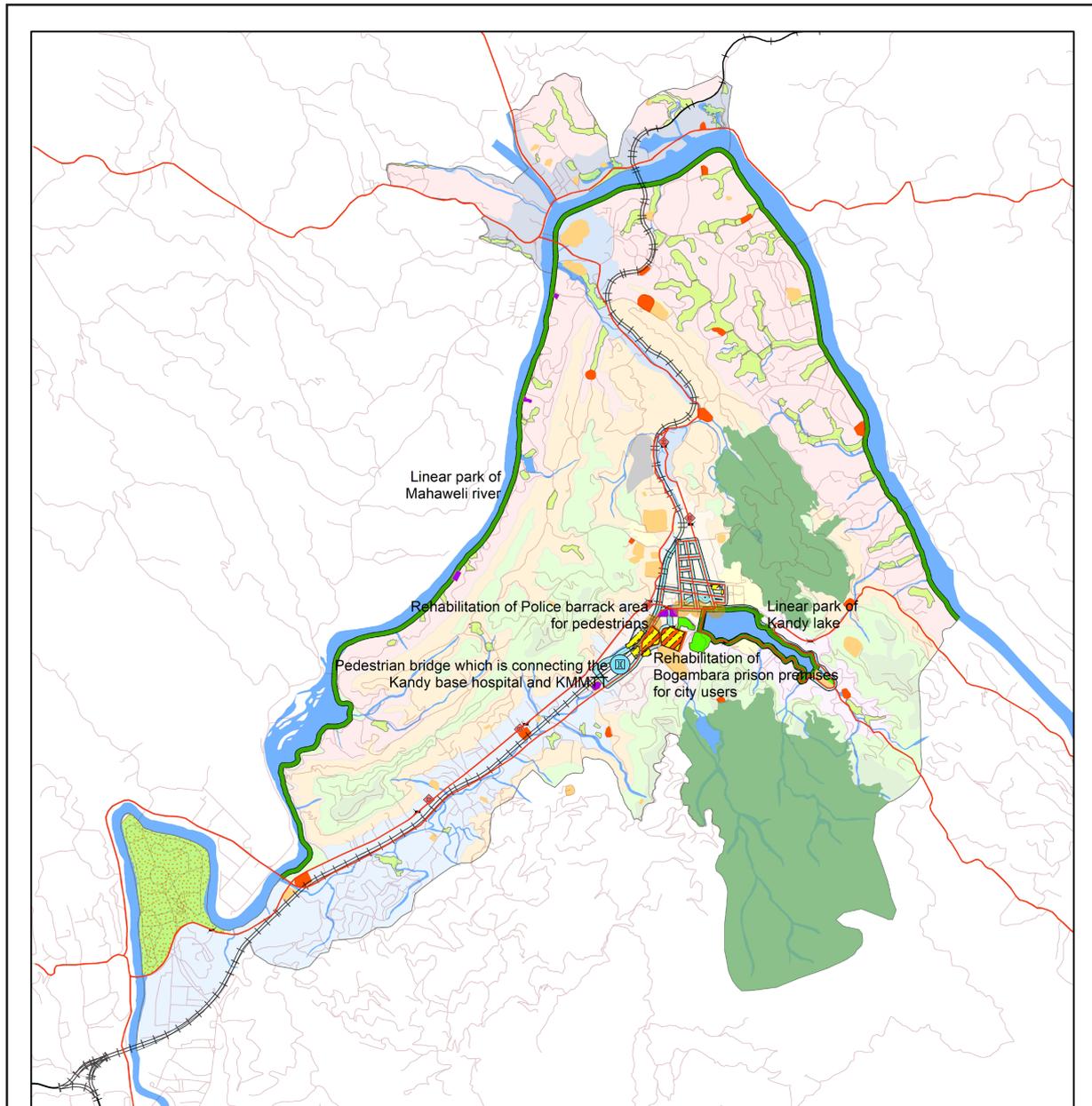
The proposed PORS plan will be prepared for forecasted population (106,000) in the year 2030 and 106 ha of land will be allocated and developed as Public Outdoor Recreational Space. (Annexure 27)

**Table 15: Playgrounds Located within the City Limits**

	Playground	Sports	Extent (ha)	Category	Service Area
1	Mapanawathura	Football/Cricket/Rugger	1.2	Local park	0.4
2	Wattaranthenna	Football/Cricket/Rugger	0.5	Mini Park	0.2
3	Kosmi Park	Football/Cricket/Rugger	1	Mini Park	0.2
4	Nawayalathenna	Football/Cricket/Rugger	1	Mini Park	0.2
5	Niththawela	Football/Cricket/Rugger/ Athletics	1	Mini Park	0.2
6	Mawilmada	Football/Cricket/Rugger/ Athletics	1	Mini Park	0.2
7	Watapuluwa(HS)	Football/Cricket/Rugger/ Volleyball	3.5	Local Park	0.4
8	Watapuluwa Village	Football/Cricket/Rugger	1	Mini Park	0.2
9	Aruppola	Football/Cricket/Rugger	2	Local Park	0.4
10	Lewella	Football/Cricket/Rugger/ Volleyball	1.5	Mini Park	0.2
11	Deiyannewela	Football/Cricket/Rugger/ Athletics	1.75	Mini Park	0.2
12	Wewalpitiya	Football/Cricket/Rugger/ Athletics/ Hockey	1.75	Mini Park	0.2
13	Watapuluwa Parana Ganthota Road	Football/Cricket/Rugger/ Athletics /Netball	1.25	Mini Park	0.2
14	Gomas	Football/Cricket/Rugger	1	Mini Park	0.2
15	Pahala Nagasthenna	Football/Cricket	1	Mini Park	0.2
16	Dangolla	Football/Cricket/Rugger	2.75	Local Park	0.4
17	Dodanwela	Football/Cricket/ Volleyball	0.75	Mini Park	0.2

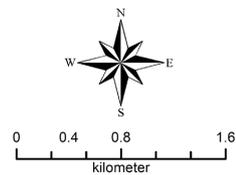
18	Boowelikada	Football/Cricket/Rugger/ Athletics	1	Mini Park	0.2
19	Ampitiya	Football/Cricket/Rugger/ Athletics/ Volleyball/Hockey	2.5	Local Park	0.4
20	Melwatte	Football/Cricket/Leather ball	1	Mini Park	0.2
21	Gatambe	Football/Cricket/Rugger/ Athletis/Volleyball/ Hockey/Netball	2.5	Local Park	0.4
22	Katukele	Football/Cricket	1	Mini Park	0.2
23	Aniwatte	Football/Cricket	1	Mini Park	0.2
24	Asgiriya	Football/Cricket	1	Mini Park	0.2
25	Beard Park		0.41	Pocket Park	
27	Lake around Linear Park		19.5	Linear Park	
28	Proposed Linear Parks		12.28	Linear Park	
29	Watapuluwa Children's Park		0.84	Linear Park	
30	Mahaweli Linear Park		16.9	Linear Park	
31	Wakarewatte Natural Park		141	Regional Park	
32	Bogambara Urban Park		0.5	Mini Park	0.2
33	Police Barracks Urban Park		3	Local Park	0.4

**Map 17: Public Outdoor Recreational Space Plan**



**Legend**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li> Railway line</li> <li> Main roads</li> <li> Other roads</li> <li> Pedestrian path to be rehabilitate</li> <li> Linear park</li> <li> New underpass for pedestrian</li> <li> Pedestrian overhead cross</li> <li> Proposed pedestrian junctions to be develop</li> <li> Water Body</li> <li> Cemetery</li> </ul> | <ul style="list-style-type: none"> <li> Park</li> <li> Play grounds belongs to other agencies</li> <li> Adaptive reuse projects</li> <li> Peradeniya botanical garden</li> <li> Conserved low line lands</li> <li> Conserved Forest</li> <li><b>Urban play grounds</b></li> <li> Local play grounds</li> <li> Mini play grounds</li> </ul> |
|--|--|



**PUBLIC OUTDOOR RECREATIONAL SPACE PLAN**

Kandy Municipal Council Area Development Plan 2021-2030

**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority

Prepared by: N.H.D. Wijethunga

Prepared Date: 27/10/2020

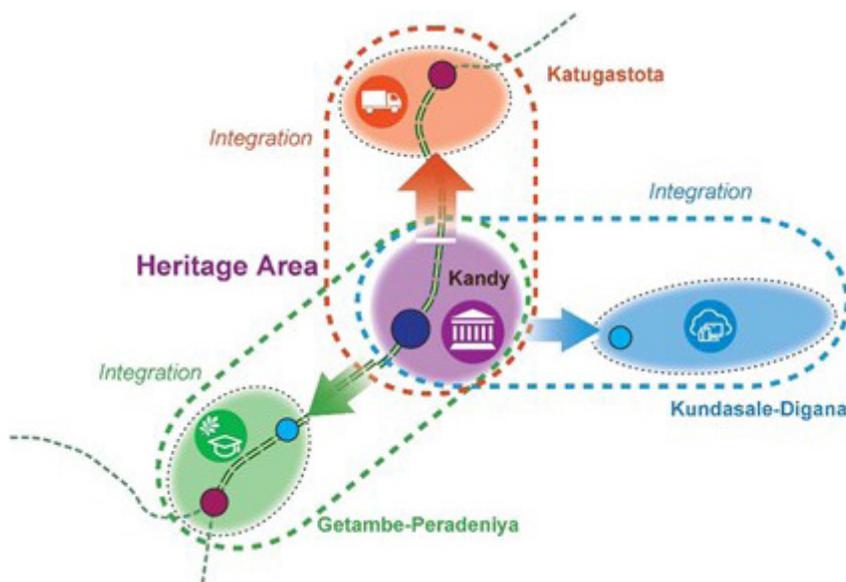
## 6.6 Cultural and Heritage Management Strategies

### 6.6.1 Proposed Planning Concept of the Heritage Area Zone

The basic planning concept in the Sacred Area zone and Heritage Area zone is proposed as follows:

1. Development of an urban service centre of Greater Kandy with the integration of adjacent urban centers (Shifting some activities from the city centre to surrounding clusters, Ex: Katugasthota)
2. Preservation and conservation of historic and cultural assets of Heritage Area with the surrounding natural environment
3. Creation of pedestrian friendly networks and open spaces network

**Figure 41: Image of Proposed Concept (Integration with Adjacent Urban Cores)**



Source: Grater Kandy Urban Plan, JICA-UDA Team, 2018

Figure No. 38 illustrates the image of the proposed urban service center of the Heritage Area, which will gradually be created by the integration with the adjacent cluster cities, Katugasthota, Getambe - Peradeniya, and Kundasale-Digana. With these urban clusters, Katugasthota is expected to be the most important urban core for the integration of urban functions with the Heritage Area. Proposed planning concept includes following activities.

- ◆ Transport network improvement, including the improvement of bypass roads, railway capacity enhancement, traffic management, road improvement, and so on.

- ◆ Preservation of human-scale historic street scape focusing on the Commercial Grid Zone and scenic view in the Lake around Zone.
- ◆ Revitalization of urban functions by introduction of new urban functions and development of open spaces by reorganization of public lands.
- ◆ Tourism development: tourism service and information provision, etc.
- ◆ Improvement of living environment: redevelopment of degraded residential areas, social housing, and infrastructure development.

### **6.6.1.1 Contents of the detailed guide Plan**

This detailed guide plan includes following components.

1. Special regulations for the Heritage building conservation.
2. Architectural control and sign board guidelines.
3. Transport management.

### **6.6.2 Proposed Strategies for heritage area conservation**

- I. If some listed conserved buildings are to be collectively rehabilitated, special permit should be obtained from Urban Development Authority (UDA), Department of Archeology (DOA) and Kandy Municipal Council (KMC) and should have 10m setback minimum with maximum 12m height.
- II. The portion of the listed conserved buildings to be maintained shall be approved by CCF and DOA. CCF and DOA shall check such application together.
- III. Design of such addition shall be subordinate to the listed conserved buildings in front in order to respect them, and shall not directly copy the design of the front buildings.
- IV. Conservation plans of the listed conserved building shall be submitted and approved by UDA or DOA and conservation work shall be carried out along with the construction of addition.

#### **6.6.2.1 Signboard Guidelines**

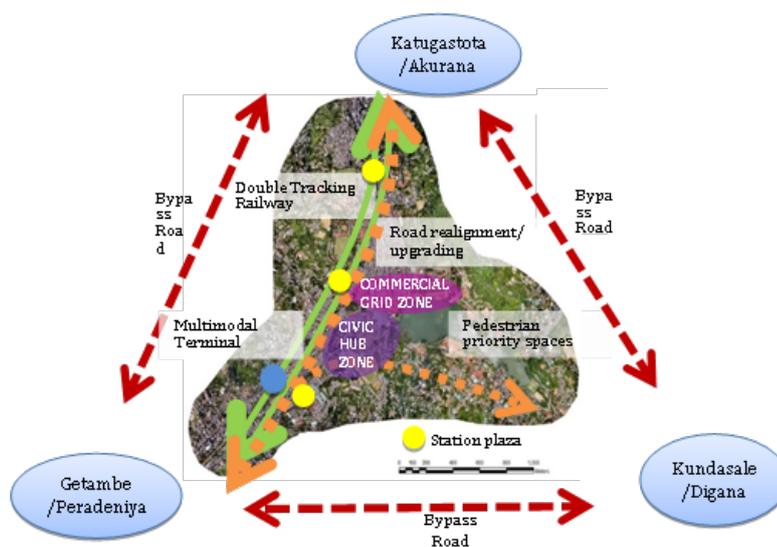
Requirements have been put in place to regulate the name boards of buildings in the World Heritage area to enhance the architectural features of the buildings and to make the area and facades more attractive to pedestrians.

### 6.6.2.2 Transport Management

Transforming the historic city area into a pedestrian friendly area is an important principle. Below are some detailed tips to consider.

- I. One of the most important requirements for realizing the proposed basic planning concept is to transform the Heritage Area into a pedestrian priority area by comprehensive transportation policies. The comprehensive transportation policies which are considered essential are indicated below.
- II. Public transportation services will be improved based on the TOD concept, which include double tracking of the railway (Katugasthota-Kandy-Peradeniya), enhancing the efficiency of bus operation, development of a park & ride (P&R) system, development of multi-modal terminal and station plazas, promoting a school bus system, and so on.
- III. The car traffic will be reduced and the road capacity will increase by development of bypass roads to reduce the inflow traffic/ intersection improvement, securing bus stop spaces, 3-wheeler priority lane, road realignment and upgrading, traffic management (e.g. strict speed control), and so on.
- IV. Some areas of the Heritage Area in the Commercial Grid Zone and Utility Services Zone will be designated as some pedestrian priority areas to improve the walking environment.
- V. Car traffic and parking will strictly be controlled.

**Figure 42: Transportation Policies to Transform the Heritage Area into a Pedestrian Priority Area**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

### 6.6.2.3 Increasing Walkability in the heritage area zone

#### 6.6.2.3.1 Redefining the street hierarchy and reconfiguration of the streets

It is proposed that the zone to be people-oriented, considering the current amount of traffic flowing into the city and the timing of the proposed double tracking development and the development of the outer urban core such as Katugasthota, it is not plausible to propose that the entire Heritage Area Zone to be pedestrianized only or even pedestrian-oriented for a short to mid-term time period. Therefore, before all these development projects that will contribute to reduce the traffic volume in the Heritage Area Zone and can provide the alternative public transportation system, the heritage area should keep some of the arterial road within the Commercial Grid Zone, while changing the characters of some streets into walkable streets. (Figure 40)

By designating the outer streets of the Commercial Grid Zone as the main artery roads such as part of the D.S. Senanayake Street, Kande Veediya, Cross Street, Yatinuwara Veediya, and part of Dalanda Veediya, the area bounded by Cross Street, Yatinuwara Veediya, Colombo Street and D.S. Senanayake is to be freed up as a pedestrian friendly zone. Due to this change, the central part of the Commercial Grid Zone such as Colombo Street and D.S. Senanayake Veediya will be turned into pedestrian oriented streets where people can enjoy strolling and enjoy looking at the heritage buildings on the way to the Sri Dalanda Maligawa. Alleys are designated to be pedestrian-street as part of the new pedestrian network system within the zone.

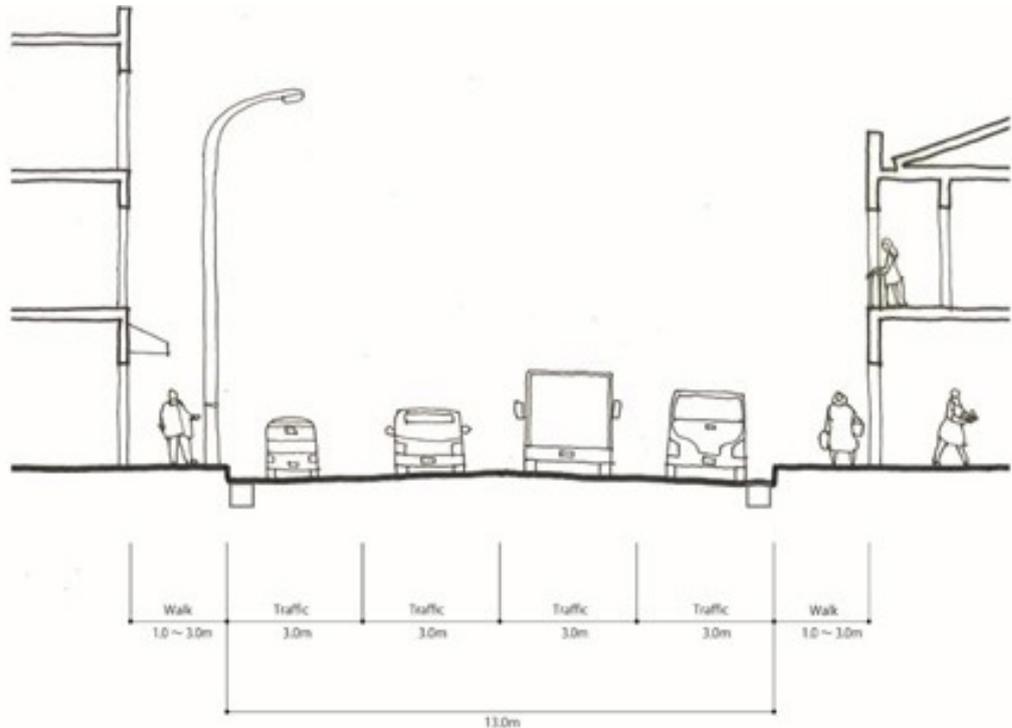
**Figure 43: Hierarchy of the Streets in the Commercial Grid Zone**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

## Street Type 1: Main artery (Yatinuwara Street, Cross Street, part of Dalanda Veediya & D.S. Senanayake Street)

Figure 44: Illustrative Section of Main Artery

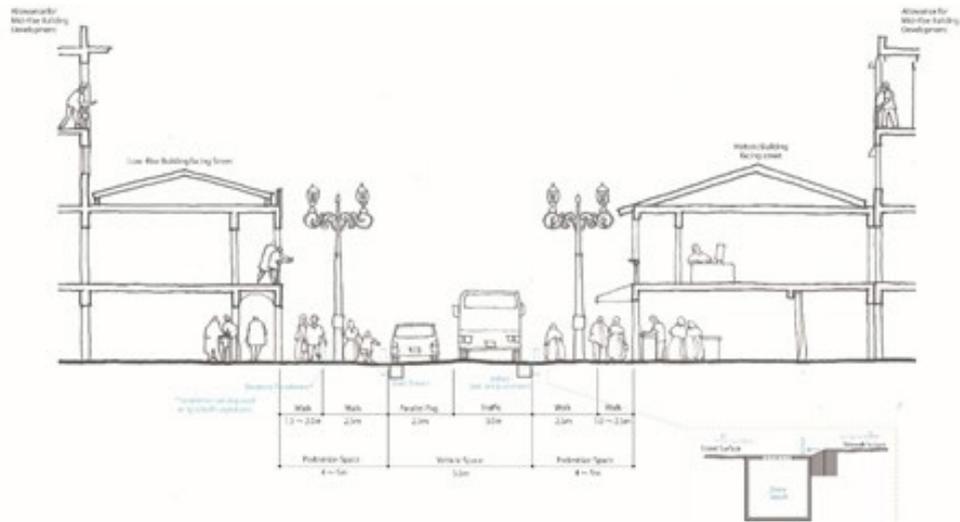


Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

To free up the central area of the Heritage Area Zone as the pedestrian oriented space, these arteries will be turned into more car-oriented streets and they will accommodate two travel lanes on each side (meaning four travel lanes in total). To achieve the smooth traveling of cars, on-street parking shall be prohibited on such streets and frequent monitoring and policing by the authority will be highly encouraged for enforcement. To compensate for the loss of an on-street parking space, the off-street parking structure is proposed. The travel lanes can be increased by reducing the existing width of travel lanes and that of sidewalks. The existing street width and the façade line should be preserved as an important feature that defines the historic streetscape of the Heritage area zone, no street widening is necessary for adding one more travel lane.

## Street Type 2: Walkable Street

Figure 45: Illustrative Section of Walkable Street



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

Figure 42 illustrates the typical street section of the “Walkable Street” such as Colombo Street, King Street and lower part of the D.S. Senanayake Street. Walkable Street will be reconfigured to significantly increase the sidewalks on both sides of the street by reducing the width of travel lane and the on-street parking space. On-street parking space will be reduced by changing the way to park a car from angle parking to parallel parking. Paving materials and pattern of the sidewalk is encouraged to be elaborate so that people can enjoy walking.

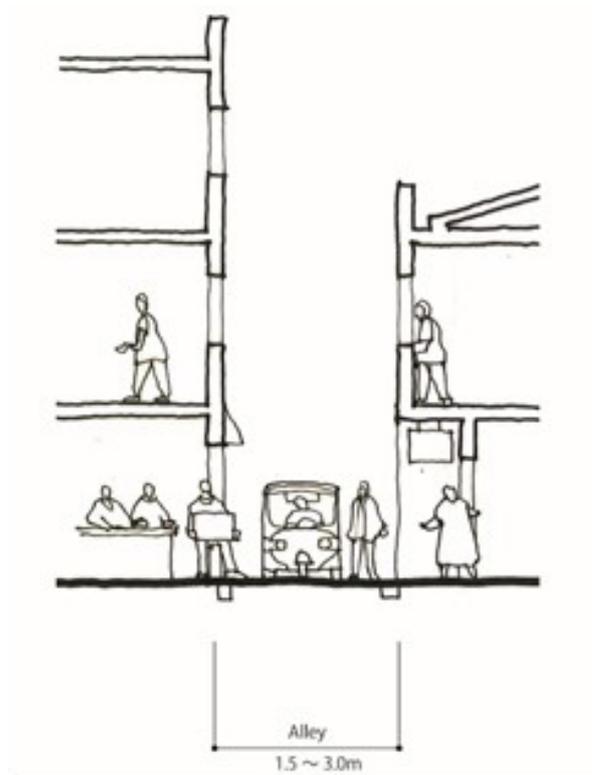
Figure 46: Image of the Pedestrian Priority Street (Colombo Street)



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

### Street Type 3: District Alley

Figure 47: Illustrative Section of District Alley (Castle Lane)



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

Figure 47 illustrates the section of the District Alley. No major changes will be made in terms of the character of the street and it will be mainly used for pedestrians. Only the three-wheeler can be allowed on the District Alley. In order to increase the comfortability of the streets and visual integrity of the streets, the paving of the District Alleys should be improved.

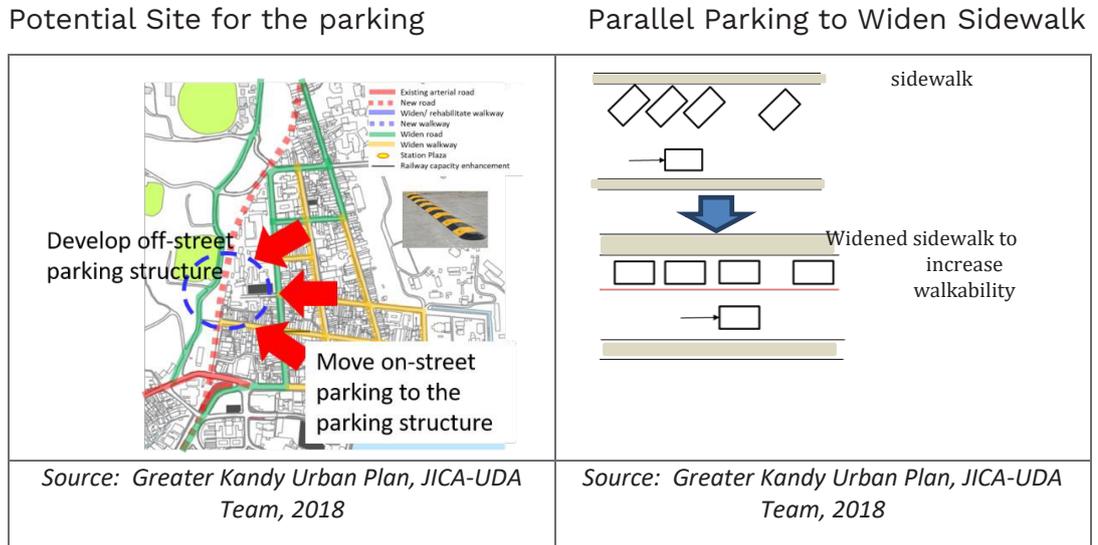
#### 6.6.2.3.2 Construction of the off-street parking structure

In order to reduce the on-street parking in the Commercial Grid Zone, the development of the off-street parking structure nearby is strongly suggested. For this purpose, the open space of the Sinha Regiment site (Figure 48) which is located on the western edge of the Commercial Grid Zone is preferable. The suggested functions of the new parking structure are parking for the regular size vehicles and tour buses and the small logistics center that allows the packages unloaded from the bigger trucks to the smaller communal vehicles to reduce the traffic for logistics.

Even after the construction of the off-street car parking structure, on-street parking on the Walkable Street is still allowed. After reducing the on-street parking, in order to widen the sidewalk, while keeping the original width

of the street, the way to park cars on the streets needs to be changed. Currently, most of the cars are angle-parked, which takes up so much space in the street, and will need to be parallel-parked (Figure 48).

**Figure 48: Proposed land for constructing parking spaces**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

Source: Greater Kandy

### 6.6.2.3.3 Relocation of the wholesale trucks

In order to reduce the overall car traffic in the Heritage Area Zone, the wholesale activities by the trucks which occupy the significant space on Colombo Street between Kotugodalla Veediya and Wadugodapitiya are to be relocated to the other location (Figure 46), It is proposed to be relocate such activities to the other locations such as Katugasthota.

**Figure 49: Location of the Current Wholesale Market**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

Sri Dalanda Premises, Cloud Wall, Places of Heritage Buildings, Ancient Milk Sea or Kandy Lake and its Catchment area, Udawatte Forest, Wakarewatte Forest, Bahirawa Kanda and Hanthana mountain range designated as old green mountains could be identified as Kandy heritage in the city. The management of the places identified like manner will indicate through this plan.

The objectives of management of heritage places are to conservation of world heritage buildings, to protect ancient road network, creation of pedestrianized environment, creation of open, colorful and environment friendly area to link with Dalanda Maligawa, to introduce sufficient urban activities, to minimize natural disasters, to connect utility service zone and heritage city zone, promotion of facilities along procession road, and to establish the connectivity between buildings and procession etc.

Improvement of heritage image for well-guarded uniqueness of hill country could be identified as one of the goals in reaching vision of “The Glorious Hill Capital”. For fulfilling this goal cultural and heritage management strategy will be used and preservation, adaptive uses for special identified buildings are specified strategies under this plan.

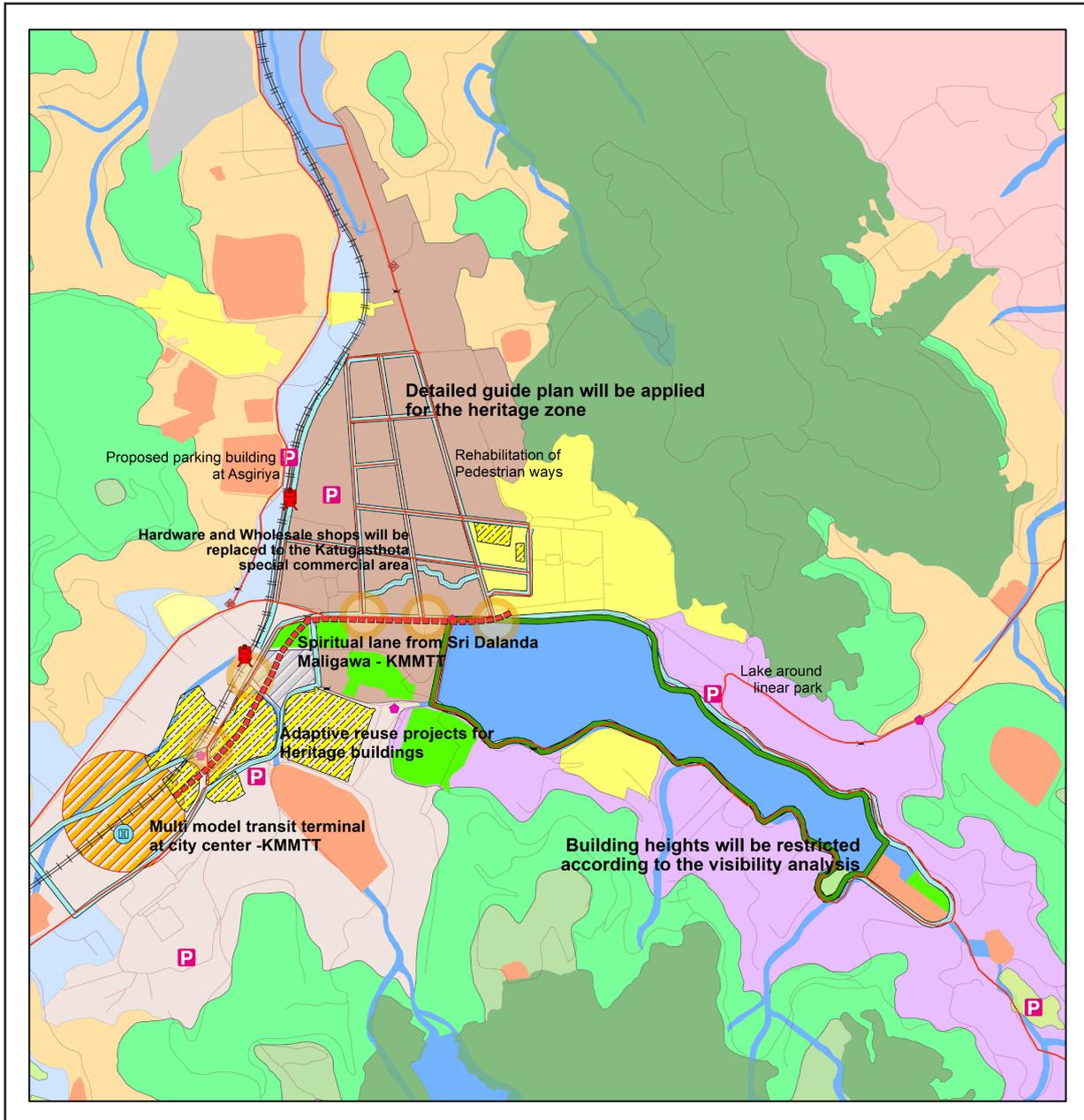
When preservation, renovation and modification of existing A, B and C categories of buildings as indicated in annexure 5, shall follow the preservation instructions which specified in this plan. Additionally, adaptive uses for identified special buildings below stated.

**Table 16: Adapted Uses for Identified Special Buildings**

<b>World Heritage Building</b>	<b>Adaptive Use</b>
Ehelepola Walawwa	Promotion of Cultural & Tourism Activities
Bogambara Prison	Promotion of Cultural & Tourism Activities
UDA Building	Promotion of Tourism Activities
Old Lawyers’ Complex	Promotion of Cultural & Tourism Activities
Old Post Office	Promotion of Tourism Activities
Railway Station Building	Transportation activities
Police Quarters Premises	Open & Recreational Activities
Garrison Cemetery	Open, Recreational & Tourism promotion Activities
Military Cemetery	Open, Recreational & Tourism Promotion Activities
Old Bridge at Katugasthota	Commercial and Cultural Promotion

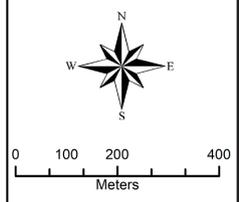
Source: Urban Development Authority, Central Provincial Office, Kandy 2018

**Map 18: Cultural and heritage management plan**



**Legend**

- |   |                             |                                    |
|---|-----------------------------|------------------------------------|
| Adaptive reuse projects                     | Main roads                  | Pedestrian path to be rehabilitate |
| Satellite Bus terminals                     | Railway line                | Pedestrian overhead cross          |
| Development of central market               | Proposed new rail station   | New underpass for pedestrian       |
| Cemetery                                    | Water Body                  | Linear park                        |
| Park  | Conserved low line lands    | Proposed parking area              |
| Playground                                  | Peradeniya botanical garden | Junction improvement               |
| Proposed pedestrian junctions to be develop | Conserved Forest            | Spiritual lane                     |



**CULTURAL HERITAGE MANAGEMENT STRATEGY PLAN**

Kandy Municipal Council Area Development Plan 2021-2030

**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority  
Prepared by : N.H.D. Wijethunga  
Prepared Date : 27/10/2020

## 6.7 Action Projects

### 6.7.1 Action Projects and Implementation Institutions

Table 17: Strategic Projects and Implementation Institutions

Serial No	Description	Implementing Agency
01	Establishment of Vehicle Parking facilities within the premises of Kandy National Hospital	Health Department Urban Development Authority
02	Housing Scheme for relocation of unauthorized houses in hospital premises	Health Department UDA
03	Relocation of Private Medical Channeling centers located within the city to Eriyagama Town	Kandy Municipal Council UDA
04	Using of land strip located along the road from Peradeniya to Gatambe for the activities of Peradeniya Hospital expansion	Health Department UDA
05	Creating Higher Educational Facilities center integrating Gannoruwa & Eriyagama	Ministry of Education UDA
06	Mahaiyawa, Nithhawela, Natha Devalaya Land, Bogambara, Katugasthota, Manikkumbura low income settlement upgrading project	Kandy Municipal Council UDA
07	Upgrading the pedestrian walkway from proposed KMMTT to Dalanda Maligawa Premises	Kandy Municipal Council UDA
08	Construction of new pedestrian walkway from Lamagara Mawatha to Bandaranayake Mawatha and extended up to Meera Makkama Mosque	Kandy Municipal Council UDA
09	Construction of multi model transport terminal(KMMTT) integrating Good shed bus stand and railway station	UDA Strategic Cities Development Project

10	Link road from multi model transport terminal to Bogambara vehicle park	UDA Strategic Cities Development Project
11	Construction of dual railway line from Peradeniya to Katugasthota and upgrading the existing railway stations	Sri Lanka Railway Department
12	Construction of new two railway stations in between main railway station and Asgiriya railway station	Sri Lanka Railway Department
13	<p><b>Establishment of public car park</b></p> <p>I. Nuwarawela land at Sangaraja Mawatha</p> <p>II. In between Pushpsdana Mawatha and Railway line in front of Asgiriya police playground</p> <p>III. Kandy south depot land located Sirimavo Bandaranayake Mawatha</p> <p>IV. Bogambara overflow bus stand land</p> <p>V. Land belongs to Singha Regiment at Yatinuwara Street</p>	Kandy Municipal Council UDA
14	<p><b>Development of existing roads</b></p> <p>I. Development of Hanthana road up to Kandy hospital as four lane road</p> <p>II. Aniawatte-Dodamwela road development with Aniawatte tunnel</p> <p>III. Development from Galaha Junction to Gatambe as four lane road</p> <p>IV. Development Galagedera to Katugasthota as four lane road</p> <p>V. By road development connecting of Sirimawo Bandaranayake Mawathe and Williamgopallawa Mawatha</p>	RDA PRDA Kandy Municipal Council

<p>15</p>	<p><b>By road Development</b></p> <p>I. Development of Louie Peiris Mawatha as two lane road</p> <p>II. Mapanawathura road development from Asgiriya to Katugasthota</p> <p>III. Development of II Rajasingha Road and Kuda Ratwatte Mawatha as two lane road</p> <p>IV. Development of Dutugemunu Mawatha</p> <p>V. Katugasthota-Kahalla road railway station linking with Madawala Road</p> <p>VI. Connecting Kandy-Kurunegala and Kandy-Mathale roads in Katugasthota</p>	<p>RDA PRDA Kandy Municipal Council</p>
<p>16</p>	<p><b>New Road Development</b></p> <p>I. Construction of new vehicular bridge parallel to railway bridge at Peradeniya</p> <p>II. Construction of new road connecting Gatambe and Peradeniya</p> <p>III. Construction of fly over connecting William Gopallawa Mawatha to S W R D Bandaranayake Road near Deyannewela</p> <p>IV. Construction of new road with vehicular bridge from Mawilmada junction to Madawala road parallel to railway line at Katugasthota</p> <p>V. Alternative road development in front of Sangaraja Mawatha and Mahamaya Mawatha up to Louie Peiris junction</p>	<p>RDA PRDA Kandy Municipal Council</p>

17	<p><b>Junction Improvement</b></p> <ul style="list-style-type: none"> <li>I. Gatambe junction</li> <li>II. Heerassagala junction</li> <li>III. Peradeniya Bridge junction &amp; Gannoruwa junction</li> <li>IV. Kandy railway stations junction</li> <li>V. Wales park junction</li> <li>VI. Katugasthota Gohagoda road junction</li> <li>VII. Boowelikada road junction</li> <li>VIII. Girls High School junction</li> <li>IX. Williamgopallawa Mawatha -Suduhumpola junction</li> <li>X. Dalanda Street and Sangaraja Mawatha junction (In front of Queens Hotel)</li> </ul>	<p>RDA PRDA Kandy Municipal Council</p>
18	<p><b>Pedestrians' Subway Development</b></p> <ul style="list-style-type: none"> <li>I. In front of Peradeniya hospital</li> <li>II. From Beards Park to Clock tower</li> <li>III. From Bogambara junction to Library</li> <li>IV. Boowelikada near D S Senanayake Mawatha</li> <li>V. In front of Trinity College</li> <li>VI. In front of Vidyartha Vidyalaya</li> <li>VII. In front of Hillwood Vidyalaya</li> <li>VIII. In front of Swarnamalee Vidyalaya</li> <li>IX. In front of Kingswood College</li> <li>X. In front of Pushpadana Vidyalaya</li> </ul>	<p>RDA PRDA Kandy Municipal Council</p>
19	<p>Kandy Waste Water Management Project second phase up to Katugasthota from Kandy City Center</p>	<p>NWSDB, Kandy Municipal Council</p>
20	<p>Surface drainage and underground drainage development</p>	<p>Strategic Cities Development Project, NWSDB Kandy Municipal Council</p>

21	<b>Canal Rehabilitation</b> I. Meda Ela II. Hali Ela III. Dunumandalawa Ela IV. Heen Pan Kandura Ela	NWSDB Kandy Municipal Council
22	Gohagoda Solid Waste Management Project	Central Environmental Authority, Kandy Municipal Council
23	Construction of Whole sale and Building material/hardware market place at Manikkumbura	Kandy Municipal Council UDA
24	Eriyagama Town Development project	UDA
25	Peradeniya Railway Station and Peradeniya Multi Model Transport Terminal connecting project	UDA Strategic Cities Development Project
26	Central Market development	UDA Kandy Municipal Council
27	Katugasthota Railway Station and Katugasthota Multi Model Transport Terminal connecting project	UDA Strategic Cities Development Project
28	Garrison Cemetery promotion of community & recreational and tourism activities	Kandy Municipal Council
29	Military Cemetery, promotion of community & recreational and tourism activities	Kandy Municipal Council
30	Raja Pihilla archaeologically importance area develops for tourism industry	Kandy Municipal Council
31	Conservation and adaptive reuse of Katugasthota Old Bridge	UDA RDA

32	<p><b>Landscaping along the Mahaweli River bank</b></p> <ul style="list-style-type: none"> <li>I. In between Mahaweli River and Gannoruwa Road</li> <li>II. From Katugasthota to Nawayalathenna</li> <li>III. In between II Rajasingha Mawatha and Mahaweli River</li> <li>IV. In between Kuda Ratwatte Mawatha and Mahaweli River</li> <li>V. In between Dutugamunu Mawatha and Mahaweli River</li> <li>VI. From Galaha Junction to Gatambe bridge in between Mahaweli River</li> </ul>	<p>UDA Kandy Municipal Council</p>
33	<p><b>Landscaping along the Canal bank</b></p> <ul style="list-style-type: none"> <li>I. Landscaping Dunumadalawa Canal bank from Wakare watte to the City Center</li> <li>II. Landscaping Heel Pan kandura Canal bank from Wakare watte to Ampitiya Junction</li> <li>III. Hali Canal bank development from Mahaiyawa to</li> <li>IV. Katugasthota.</li> <li>V. Landscaping both sides of conserved area of Meda Ela and walkways development</li> </ul>	<p>UDA Kandy Municipal Council</p>
34	<p><b>Local Park Development</b></p> <ul style="list-style-type: none"> <li>I. Mapanawathura playground</li> <li>II. Watapuluwa playground</li> <li>III. Aruppala playground</li> <li>IV. Dangolla playground</li> <li>V. Gatambe playground</li> <li>VI. Ampitiya playground</li> </ul>	<p>Kandy Municipal Council</p>

35	<p><b>Mini Park Development</b></p> <ul style="list-style-type: none"> <li>I. Wattaramthenna</li> <li>II. Cosmy Park</li> <li>III. Nawayalathenna</li> <li>IV. Nithhawela</li> <li>V. Mawilmada</li> <li>VI. Watapuluwa Village</li> <li>VII. Lewalla</li> <li>VIII. Deiyannewela</li> <li>IX. Wewalpitiya</li> <li>X. Watapuluwa</li> <li>XI. Parana Ganthota Road</li> <li>XII. Gomas</li> <li>XIII. Nagasthenna</li> <li>XIV. Pahala Dodanwela</li> <li>XV. Boowelikada</li> <li>XVI. Melwatte</li> <li>XVII. Katukele</li> <li>XVIII. Aniawatte</li> <li>XIX. Asgiriya</li> <li>XX. Watapuluwa Children Park</li> </ul>	Kandy Municipal Council
36	<p><b>Pocket Park Development</b></p> <ul style="list-style-type: none"> <li>I. Beard Park</li> <li>II. George E De Silva Park</li> </ul>	Kandy Municipal Council
37	<p><b>World Heritage Buildings conservation</b></p> <ul style="list-style-type: none"> <li>I. Bogambara Prison premises</li> <li>II. Police quarters premises</li> <li>III. Ahelepola Walawwa</li> <li>IV. Bogambara prison</li> <li>V. UDA Old Building</li> <li>VI. Old Lawyers office building</li> <li>VII. Kandy Post Office</li> <li>VIII. Railway station building</li> </ul>	Archaeological Department UDA
38	Development of infrastructure facilities within Dalada Maligawa premises and four Dewale premises	Sri Dalada Maligawa UDA

# Part II



Chapter

**07**

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**Development  
Zones and Zoning  
Regulations**



## Chapter 07

# Development Zones and Zoning Regulations

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### Introduction

## 7.1. Introduction

Zoning approach of the Kandy Municipal Council area development plan specifically consider the density, character, terrain, natural landscape and the water paths of the area as these components are highly influence to its natural beauty as well as to accommodate residence and tourism activities in Kandy. Hence, the plan has proposed character based density zones for Kandy area by considering the natural disasters, unique environmental features and setting. Further to that the development plan introduces visual corridors to maintain the view plains of Kandy in order to capture the best views of the area especially, Hanthana Mountains, and Primrose mountains. Taken into account above those elements development promotion zones, development restriction zones, and special development guide areas has been introduced by the zoning plan. The Kandy MC area zoning categories is, its defined based on the contour intervals due to its geographical setting.

The Kandy Municipal Council area will have Eleven (11) zones which promotes Heritage tourism activities/ Residential prominent areas/ service and commercial activities prominent areas/ Environment Conservation areas. These eleven (11) activity prominent Zones identified within three broader density zones as described below. The reason for demarcation of different activity prominent zones within the identified broader density zones is to maintain the character of the area while preserving the environment sensitive areas and to promote development activities only for suitable areas. Also, it will enable a variety of experiences in different areas without resulting in homogeneous developments throughout.

## 7.2. Development Zones

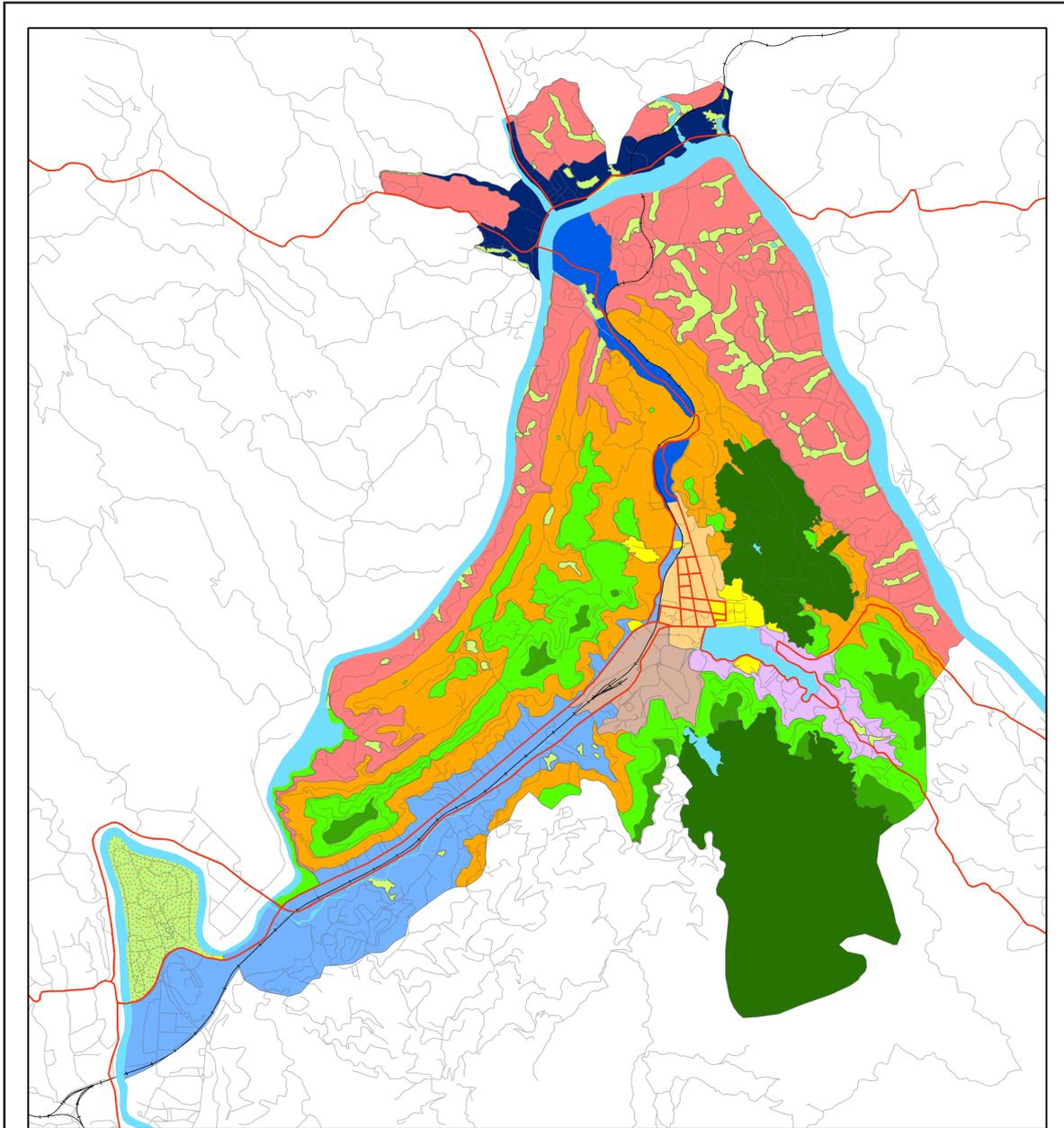
The proposed development zones are:

- 1 Sacred Area Zone
- 2 Heritage Area Zone
- 3 Utility Services Zone
- 4 Lake Around Zone
- 5 Mixed Development Zone
- 6 Residential Zone
- 7 Commercial Zone I
- 8 Commercial Zone II
- 9 Commercial Zone III
- 10 Environment Zone I
- 11 Environment Zone II

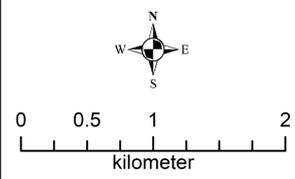
The proposed zoning plan is shown in Map 19.

## 7.2.1. Proposed Zoning Plan

Map 19: Proposed Zoning Plan



<b>Legend</b>		
— Main Roads	Peradeniya Botanical Garden	Residential Zone
— Other Roads	Sacred Area Zone	Commercial Zone I
— Railway Line	Heritage Area Zone	Commercial Zone II
Conserved Low line Lands	Utility Services Zone	Commercial Zone III
Forest	Lake Around Zone	Environment Zone I
Water body	Mixed Development Zone	Environment Zone II



<p><b>ZONING PLAN (2021-2030)</b> <b>KANDY MUNICIPAL COUNCIL AREA</b></p> <p>Kandy Municipal Council Area Development Plan 2021-2030</p>	<p>Source: Central Provincial Office Urban Development Authority</p> <p>Prepared by : N.H.D. Wijethunga</p> <p>Prepared Date : 27/10/2020</p>
 <p><b>URBAN DEVELOPMENT AUTHORITY</b></p>	

## 7.3 Zone Factor

The zone factor is a new concept introduced in place of a practically implemented Floor Area Ratio, which was previously made in the planning and building regulations. This determines the size of the maximum development allowed in a given area. In particular, the property owner is given a reasonable opportunity to carry out his development. Kandy Municipal Council Area Development Plan (2021-2030) is expected to be a density-based development for the area by the year 2030. Especially relatively high densities will be expected in commercial zones, moderate density will be expected in residential zone and low density will be expected in environment zone. It is expected to establish the proposed urban form by 2030 accordingly. The nature of development taking place in the lands at Kandy is directly affected. Thus, it is necessary to create the desired urban form on the basis of the maximum development that will be determined under the zone factor.

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Zone Factor

Prior to determining the extent of the maximum development in a given area, identification of suitable areas for the development should be carried out first. Determination of High-Density, moderate density and low-density development zones will be determined through the observations of analysis done and determining the city activity patterns. The conclusions drawn by a detailed analysis of the findings must be accompanied by the practical implementation of the area. Because these developments should be balanced over the profile of the physical, social, environmental and economic aspects.

Accordingly, the zones have determined the territories based on the environmental sensitivity, the intensity of development and its direction, the distribution of the infrastructure facilities, the development in commercial activities, the geographical conditions and the density of the population. That is, if the region's zone factor is higher than the other regions, it is a strong gateway infrastructure for, a high commercial development, and a high population attraction within the region. The zone factor is low if the area has an environmentally sensitive area or it is due to less of land for development or there is a shortage of infrastructure facilities, and lower level of the desired urban form.

Accordingly, the Zone Factor has been provided for each zone under the development plan.

### 7.3.1. How the Zone Factor is determined?

The zone factor is determined according to the goals and objectives of the development plan, the urban form which is expected in the future, the environmental sensitivity which is limit the future development, the

total land available for residential, commercial and other uses which are calculated after considering potential and tolerance for development when divided by the available land for the development.

Accordingly, the zone factor is calculated to allow the development of the expected densities in each of the development zones of the development plan. The zone factor is basically from a maximum of 2.75 to a minimum of 0.0 as a variation. If a very high development is expected in the zones, this value will change more than 2.0. For example, if the zoning factor value is 2.0 or more it means that it is possible to move to a higher density of development in the zone. At the value of 0 to 1.0 it allows for low and/or average development and from 1.0 to 2.0 allows for medium density development.

The proposed zoning Plan of the Kandy Municipal Council Area Development Plan has introduced a zone factor for each zone. (It has been shown in Map 20). According to these figures, the highest zoning factor of 2.75 is calculated with the aim of attracting high development in the Utility Services Zone. Zone factor of 2.0 has the Commercial Zone III and commercial zone I, II have 1.75 zone factor. Residential zone, Heritage area zone and Sacred area zone have zone factor of 1.5. Zone factor of Mixed development zone is 1.2 and Lake around zone has zone factor of 1.0. Environment zone II has the 0.5 zone factor and lowest zone factor has the Environment zone I which is 0.0.

When looking at a cross-section of the city, it is expected that relatively higher development through the Peradeniya- Kandy- Katugasthota development corridor which is low elevation area. Development density is getting lower when the elevation is getting higher. Accordingly, calculated Floor Area Ratios(FAR) of the Kandy Municipal Council Area Development Plan is in table No 18 Consisting with form A, B and C.

Table 18: FAR of respective Zone Factor  
Form A - Permissible Floor Area Ratio

Land extent (Sq.M)	Zone factor = 0.50 - 0.74				Zone factor = 0.75-0.99				Zone factor = 1.00-1.24				Zone factor = 1.25-1.49				Zone factor = 1.50-1.74			
	Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width			
	7m	9m	12m	15m or above	7m	9m	12m	15m or above	7m	9m	12m	15m or above	7m	9m	12m	15m or above	7m	9m	12m	15m or above
150 less than 250	0.8	0.9	0.9	0.9	1.3	1.3	1.4	1.4	1.6	1.7	1.8	1.9	2.0	2.2	2.3	2.4	2.4	2.6	2.7	2.8
250 less than 375	0.9	1.0	1.2	1.3	1.3	1.6	1.8	2.0	1.8	2.2	2.4	2.7	2.2	2.7	3.0	3.3	2.6	3.2	3.6	4.0
375 less than 500	0.9	1.0	1.2	1.4	1.3	1.6	1.9	2.1	1.9	2.2	2.5	2.8	2.3	2.8	3.2	3.4	2.7	3.3	3.8	4.2
500 less than 750	1.0	1.1	1.3	1.5	1.4	1.7	2.0	2.2	2.0	2.3	2.7	3.0	2.4	3.0	3.4	3.5	2.8	3.4	4.0	4.5
750 less than 1000	1.0	1.2	1.4	1.7	1.5	1.8	2.2	2.5	2.1	2.4	2.9	3.3	2.6	3.0	3.6	4.0	3.1	3.6	4.3	5.0
1000 less than 1500	1.1	1.3	1.5	1.8	1.6	1.9	2.3	2.7	2.2	2.5	3.0	3.6	2.7	3.1	3.8	4.5	3.2	3.8	4.6	5.5
1500 less than 2000	1.1	1.4	1.7	2.0	1.7	2.1	2.5	3.0	2.3	2.7	3.4	4.0	2.9	3.4	4.2	5.0	3.4	4.0	5.0	6.0
2000 less than 2500	1.2	1.5	1.8	2.1	1.8	2.3	2.7	3.1	2.4	2.8	3.5	4.2	3.0	3.5	4.4	5.4	3.5	4.2	5.2	6.5
2500 less than 3000	1.2	1.6	2.0	2.4	1.9	2.4	3.0	3.6	2.5	3.2	4.0	4.7	3.1	3.8	4.7	5.8	3.6	4.4	5.5	7.0
3000 less than 3500	1.3	1.7	2.1	2.5	2.0	2.5	3.1	3.7	2.6	3.4	4.2	5.0	3.2	4.0	5.0	6.2	3.7	4.6	6.0	7.5
3500 less than 4000	1.4	1.8	2.2	2.6	2.2	2.6	3.3	3.9	2.8	3.6	4.3	5.3	3.3	4.3	5.5	6.6	3.8	4.8	6.3	7.7
More than 4000	1.5	1.9	2.3	2.8	2.5	2.8	3.5	4.0	3.0	3.8	4.5	5.5	3.5	4.5	6.0	7.0	4.0	5.0	6.5	8.0

Land extent (Sq.M)	Zone factor = 1.75-1.99				Zone factor = 2.00-2.24				Zone factor = 2.25-2.49				Zone factor = 2.50-2.74				Zone factor = 2.75-2.99			
	Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width				Minimum Road Width			
	7m	9m	12m	15m or above	7m	9m	12m	15m or above	7m	9m	12m	15m or above	7m	9m	12m	15m or above	7m	9m	12m	15m or above
150 less than 250	2.8	3.0	3.2	3.3	3.0	3.4	3.6	3.8	3.0	3.4	3.6	4.0	3.0	3.4	3.6	4.0	3.0	3.4	3.6	4.0
250 less than 375	3.0	3.4	4.3	4.7	3.2	3.6	4.5	4.5	3.5	3.8	4.5	5.0	3.5	4.0	5.0	5.5	3.5	4.2	5.0	5.5
375 less than 500	3.2	3.5	4.5	5.0	3.4	3.7	4.8	5.2	3.6	4.5	4.7	5.5	3.6	4.6	5.2	6.0	3.6	4.7	5.2	6.0
500 less than 750	3.4	3.6	4.7	5.5	3.5	4.0	5.0	6.0	3.7	5.0	5.0	6.0	3.7	5.1	5.5	6.5	3.7	5.2	5.5	6.5
750 less than 1000	3.5	3.8	5.1	6.0	3.6	4.5	5.7	6.5	3.8	5.1	6.0	6.5	3.8	5.2	6.5	7.0	3.8	5.3	7.0	7.5
1000 less than 1500	3.6	4.0	5.4	6.5	3.7	5.0	6.1	8.0	3.9	5.3	6.5	8.5	3.9	5.4	7.0	9.0	3.9	5.5	7.5	9.0
1500 less than 2000	3.7	4.2	5.8	7.0	3.8	5.1	6.7	9.0	4.0	5.4	7.0	*10	4.0	5.5	7.5	*10.5	4.0	5.6	7.5	*10.5
2000 less than 2500	3.8	4.4	6.2	7.5	3.9	5.2	7.1	*10	4.0	5.5	7.5	*10.5	4.0	5.6	7.5	*11	4.0	5.7	8.0	*11
2500 less than 3000	3.9	4.6	6.5	8.0	4.0	5.3	7.4	*10.5	4.0	5.6	7.5	*11	4.0	5.7	8.0	*11.5	4.0	5.8	8.0	*11.5
3000 less than 3500	4.0	4.8	6.9	8.5	4.0	5.4	7.6	*11	4.0	5.7	8.0	*11.5	4.0	5.8	8.0	*12	4.0	5.9	8.0	*12
3500 less than 4000	4.0	5.0	7.3	9.0	4.0	5.5	7.8	*11.5	4.0	5.8	8.0	*12	4.0	5.9	8.0	*12	4.0	6.0	8.0	*12
More than 4000	4.0	5.2	7.5	9.5	4.0	5.6	8.0	*12	4.0	5.9	8.0	*UL	4.0	6.0	8.0	*UL	4.0	6.0	8.0	*UL

UL - Unlimited

Floor area allocated for parking facilities are not calculated for FAR

Above Floor Area Ratio shall not be applicable for the zones where number of floors or FAR indicated under the zoning regulations

Above Permissible FAR may be restricted under the development plan based on the slope of the land

Clearance shall be taken from National Building Research Organization for the lands having slope more than 110

\* FAR more than or equal to 10.0 shall be permitted only for the roads having minimum of 12m ( from road center) Building Line, if not maximum FAR shall be limited to 9.0

Source: North Western Provincial office, Urban Development Authority, 2020

Form B - Number of Floors for 3.0m & 4.5m wide Roads						
Minimum Road Width	Minimum Site Frontage	* Plot Coverage	Maximum Number of Floors			
			Zone Factor 0.5 - 0.74	Zone Factor 0.75 - 1.24	Zone Factor 1.25 - 3.49	Zone Factor 3.50 - 4.00
3.0m	6m	65%	1 (G)	2 (G+1)	3 (G+2)	3 (G+2)
4.5m	6m	65%	1 (G)	2 (G+1)	3 (G+2)	4 (G+3)

Number of floors are indicated including parking areas  
Number of units allowed for each road shall not be changed  
\* Where no plot coverage specified under the zoning regulations

Form C - Setbacks & Open Spaces									
Building Height (m)	Minimum Site Frontage (m)	Plot Coverage *		Rear Space (m)		Side Space (m)		Light Well for NLV	
		Non Residential	Residential	When no NLV is taking this end	When NLV is taking this end	When no NLV is taking this end	When NLV is taking this end	Minimum width	Minimum Area
less than 7	6	80%**	65%	2.3m	2.3m	-	2.3m	2.3m	5 Sq.m
7 less than 15	6	65%	65%	3.0m	3.0m	-	3.0m	3.0m	9 Sq.m
15 less than 30	12	65%	65%	4.0m	4.0m	1.0m and 3.0m	4.0m	4.0m	16 Sq.m
30 less than 50	20	65%	65%	4.0m	5.0m	3.0m both side	5.0m	5.0m	25 Sq.m
50 less than 75	30	50%***	50%***	5.0m	6.0m	4.0m both side	6.0m	6.0m	36 Sq.m
75 and above	Above 40m	50%***	50%***	5.0m	6.0m	5.0m both side	6.0m	6.0m	****

NLV - Natural Light & Ventilation

Building Height - Height between access road level to roof top or roof level (Including parking floors)

\* Where no Plot Coverage specified under the zoning regulations

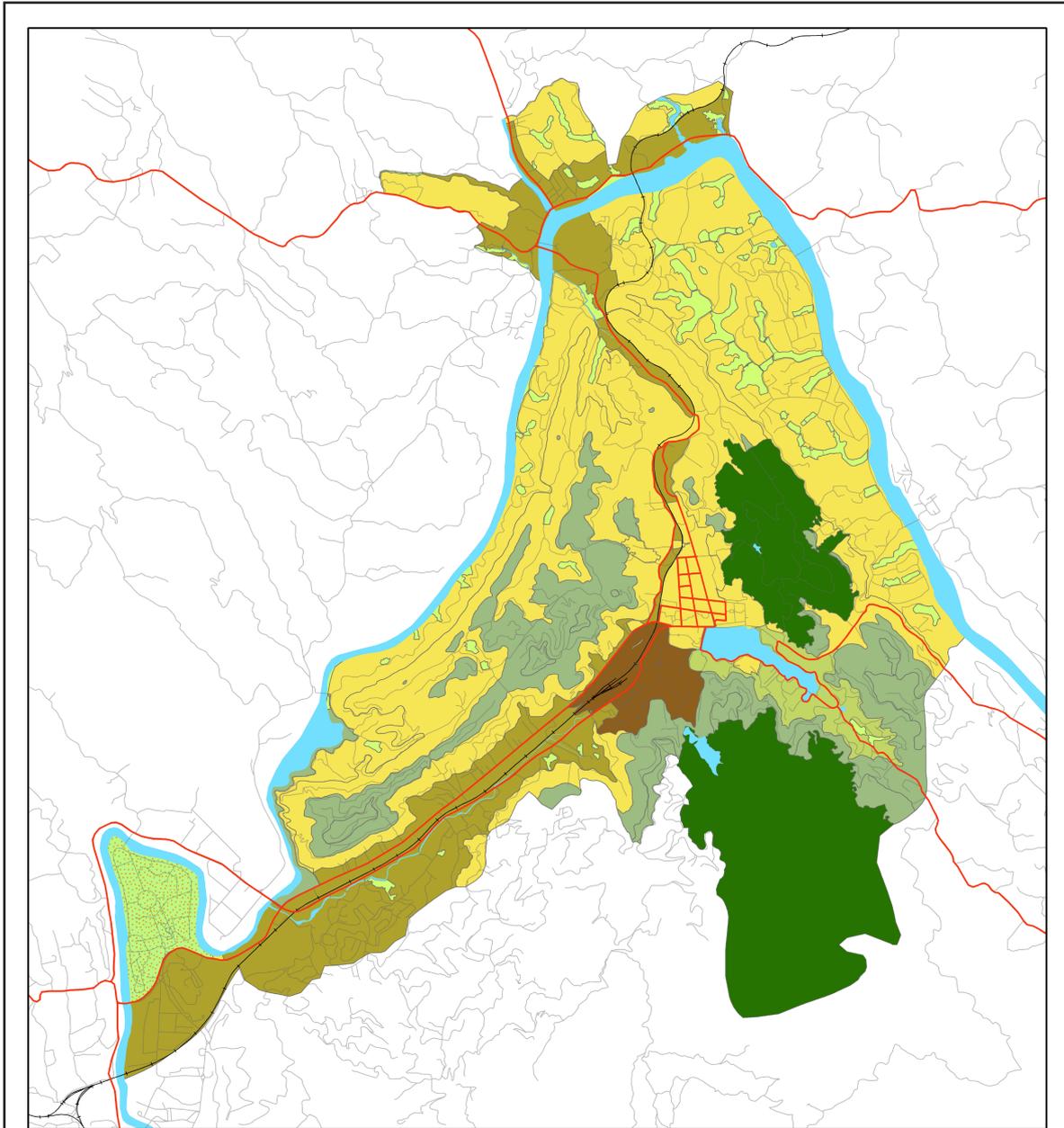
\*\* The entire development is for non-residential activities

\*\*\* 65% plot coverage can be allowed only for the podium level not exceeding 20% of the tower height or 12 floors which ever is less

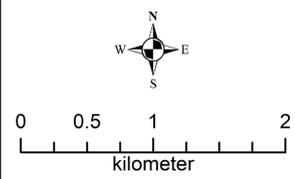
\*\*\*\* Minimum area shall be increased by 1 Sq.m for every additional 3m height

### 7.3.2 Zone Factors of each Zone 2021 - 2030

Map 20: Zone Factor of each Zone 2030



Legend		
Main Roads	Peradeniya Botanical Garden	1.5 Residential Zone
Other Roads	1.5 Sacred Area Zone	1.75 Commercial Zone I
Railway Line	1.5 Heritage Area Zone	1.75 Commercial Zone II
Conserved Low line Lands	2.75 Utility Services Zone	2.0 Commercial Zone III
Forest	1.0 Lake Around Zone	0 Environment Zone I
Water body	1.2 Mixed Development Zone	0.5 Environment Zone II



**ZONING PLAN WITH THERE  
DENSITY BASED COLOURS (2021-2030)**

Kandy Municipal Council Area Development Plan 2021-2030

**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority

Prepared by : N.H.D. Wijethunga

Prepared Date : 27/10/2020

## Common Zoning Regulations for Planning Area

### Chapter 07 Development Zones and Zoning Regulations

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#### Common Regulations for Planning Area

This chapter describes the general regulations for the planning area, in addition to that, the permissible uses and zoning regulations that have been introduced in each zone of the proposed zoning plan as outlined in Chapter 8.

- 7.4.1 These regulations apply to the entire area within the administrative limits of the Kandy Municipal Council area which has been declared as an Urban Development Area in the Extraordinary Gazette Notification No. 26/8 and 07.03.1979 under Section 3 of the Urban Development Authority Act No. 41 of 1978.
- 7.4.2 In addition to the provisions of this zoning plan, the Planning and Development Regulations applicable to any development work is regulated by the Gazette Notification No 2235/54 dated 8th July 2021. The said legalized Planning and Development Regulations also apply to the Kandy Municipal Council planning area
- 7.4.3 In the event of developing any plot of land within this Urban Development Area the use of such land shall comply only with the uses prescribed under the provisions of the Zoning Plan of the Kandy Development Plan.
- 7.4.4 The approval of any development activity in a land lot, the minimum land area of a lot must be 150 square meters, if there is no specification mention on the minimum land extent in the zoning regulations. If the area does not facilitate with pipe-born water supply should have a minimum of 250 square meters for a land lot.
- 7.4.5 The Urban Development Authority shall define any area comprised in the development plan as a special development area by a gazette notification or circular notification.
- 7.4.6 The proper wastewater management mechanism shall be implemented for the developments which are exceeding 4000 square feet facing a waterbody. The Authority can request for a landscape plan along with the building plan where necessary.
- 7.4.7 The decision on the people to be represented when construction of a new religious building or places shall be made upon the decision of the Divisional Secretary. The Authority will decide on the approval in accordance with the development plan and the relevant Ministry of Religious Affairs. No permission granted for the constructions of various religious landmarks/ Statues within the junctions, building lines, road widening limits and the reservations on both sides of the roads in Municipal Council limit.

- 7.4.8 The installation of permanent signboards or advertisements should not be perpendicular to the street or should not be obstructed to the appearance of the building. Permissions will not grant for installation of advertisements or signboards in existing boundary walls and/or banks which enhancing traffic congestion, vehicles accidents or blocking natural scenic beauty.
- 7.4.9 If any existing use is not compatible to the proposed use of this development plan by the date of enforcing the Development plan, the extension of time period of approved plan expansion of use, addition and alteration of buildings shall not have considered.
- 7.4.10 Approval is considered to continue existing uses in the proposed zoning plan. If such use is to be modified or expanded, prior approval shall be obtained from the preliminary planning clearance of the Authority. In this case, the maximum floor area is considered for up to 10% for infrastructure and staff development.
- 7.4.11 If any development activity which is not covered by the regulations of the development plan, Urban Development Authority has the sole power to take decision of such activity.
- 7.4.12 Notwithstanding the provisions of the Development Plan, it may be lawful of using of any block of land, prohibit or control or releasing of any regulation or introduction of new regulations or guidelines with the intension of achieving the objectives of the Development Plan shall happen only through the decisions taken by the Main Planning Committee of the UDA.
- 7.4.13 If any block of land is fallen within two or more local authorities, it shall be considered the particular land belongs to the local authority where access road belongs. If the access is from two roads, the wider road should be considered and if the both roads are in same width the local authority which larger portion of land fall shall be considered.
- 7.4.14 No person shall use any site or building for the purpose, except the use approved in the Development Permit.
- 7.4.15 As per the above clause no. 08 use, restriction or prohibition of land use for the construction of any building belongs to special project area designated by the Authority, other regulations or the imposition of restrictions imposed by this plan, the relaxation of restrictions or the execution of the prescribed functions for the area may be carried out by the Authority.
- 7.4.16 Reclamation of any paddy lands or low lying areas identified by the zoning plan shall not be permitted.

- 7.4.17 If any existing use is not compatible to the proposed use of this development plan by the date of enforcing the Development plan, the extension of time period of approved plan, addition and alteration of buildings equipment's and machineries for such incompatible use will not approved. In addition, if the continuation of such existing use is harmful or development plans it's fair to compatible stop such activity.
- 7.4.18 In case of a property and building which fallen within two Zones, the relevant zone should be the zone belongs main access road.
- 7.4.19 In case of a property fallen within more than two zones it will be lawful if it considered with the compatibility of objectives of the Development plan.
- 7.4.20 The boundaries of the zoning plan have provided in X (Longitude), Y (Latitude) coordinates defined on Prime Meridian: Greenwich (0.0), Datum: D\_WGS\_1984. These X and Y coordinates shown by the Decimal Degree in Google Earth are the final boundary in case there is any contradiction.
- 7.4.21 The Urban Development Authority will decide the final decision on the issue of zoning boundaries.
- 7.4.22 If the boundary change occurs at a time defined by both the boundaries, physical boundaries, and (Google Earth) geographical coordinates shown in the zoning plan, the physical boundary should be taken as the boundary of the region.
- 7.4.23 No changes such as repairs, or any interference or distortion shall be made in any building designated in the Annexure 05 without the approval or permission from the Urban Development Authority.
- 7.4.24 Lands identified for public open spaces, sports, and recreational activities by the PORS plan shall be used only for the permitted uses.
- 7.4.25 Incidents and relevant institution for obtaining Environmental Recommendation before the commencement of any development activity;
- 7.4.25.1 The projects and industries described under Section IV part A and Part C of the National Environmental Act.
- 7.4.25.2 The recommendation should be obtained from the Central Environmental Authority for construction of commercial buildings in environmentally sensitive areas.
- 7.4.25.3 For commercial developments exceeding 1000 square meters shall obtain a prior recommendation from the Environment Consultation Committee of the Authority.

- 7.4.25.4 When proposing a public wastewater treatment system for the wastewater management of buildings of less than 1000 square meters shall obtain a prior recommendation by the Central Environmental Authority.
- 7.4.25.5 Prior recommendations shall obtain from the Central Environmental Authority for activities in the gazette Environmental Protection Zones.
- 7.4.26 Incidents of getting preliminary planning clearance by the Authority; The incidents which shall obtain a preliminary planning clearance from the Authority in addition to the occasions mentioned especially in the Zoning Plan of the Kandy MC area Development Plan/ Local Authority or Client request prior to obtaining a development permit from the Authority;
  - 7.4.26.1 For the development activities classified as type "A", "B" and "C" gazette by the Central Environmental Authority under the special provision of the Extra Ordinary Gazette No. 1533/16 of National Environmental Act published on 25.01.2008.
  - 7.4.26.2 For condominium developments.
  - 7.4.26.3 Construction of telecommunication towers.
  - 7.4.26.4 Stone crushing, Sand mining and other mining activities.
  - 7.4.26.5 Construction of commercial buildings exceeding 400 square meters and Residential buildings exceeding 500 square meters.
  - 7.4.26.6 Constructions within the visibility controlling zones.
  - 7.4.26.7 Developments which are related to education and health services.
  - 7.4.26.8 Installation of notice boards by the side of A-class and B-class roads.
  - 7.4.26.9 For the development of land exceeding 05 lots subdivision or subdivision of land which are exceeding 1 Acre developments.
  - 7.4.26.10 The incidents except for the above circumstances which the Authority requests for a Preliminary Planning Clearance.
- 7.4.27 Guidelines and regulations of Cemeteries and Burial Grounds Ordinance shall be followed in case of any development activity within a cemetery or burial ground.

- 7.4.28 The construction of memorial tombs outside the registered cemeteries are not permitted.
- 7.4.29 The permission of the Authority shall obtain when a land or part of the land is allocated for a Cemetery.
- 7.4.30 In case of the construction of memorial tombs or construction or restoration of the cemeteries/ Crematories, a development permit should be obtained.
- 7.4.31 Allocation of Reservations and Buffer zones for the identified environmental sensitive areas which has not been demarcated by any law and regulations, the Urban Development Authority has the power of deciding reservations and buffer zones for protection and conservation of any special area that has environmental sensitivity.
- 7.4.32 If any site or property has not been designated for any particular use by the Development plan, any proposed use for the particular land should not be contradicted to the permissible use of the zone.
- 7.4.33 No alterations or repairs should be made within the conserved buildings without the approval of the Authority.
- 7.4.34 In the event of a building development, Maximum Permissible Floor Area shall be decided as per the table No. 19.1 in regulation No. 7.4.46.6 which shall be read with Floor Area Ratios mentioned in the Table No:18 under the section 7.3.1 herein and the land subdivisions shall be done in accordance with the table No 19.2 in regulation No. 7.4.46.7. In case where there are issues related to the total floor area of a development, which imposes a critical impact on the context, the UDA holds the authority to take the final decision by considering the development pressure and traffic flows.
- 7.4.35 Regulations mentioned by this plan will be overridden by the Special regulations designated for special Project Areas.
- 7.4.36 Due to special circumstances or developments that may occur in the future, the Urban Development Authority has the full power to reduce or increase the zone factor.
- 7.4.37 Boundaries of Special Zones considered under the Visibility Guide Map are based on X and Y coordinates of the Google Earth Decimal Degree.
- 7.4.38 If any land located adjoining to the any water body, recommendation shall obtain from its relevant institution regarding the reservation and their guidelines.
- 7.4.39 Architectural and Structural drawings, prepared and duly certified by respective professionals, shall be submitted separately for council approval.
- 7.4.40 For site with 10-degree slope angle or more, a contour plan/ Cross section diagram with showing angle of the land shall be submitted for the approval with licensed surveyor's certification for A and B grade buildings.

- 7.4.41 A continuous supervision report (Log book) shall be maintain at the site in construction stages of setting out, foundation, Beams and columns, Slab and Roof, Electricity, Plumbing, Sewer system and final finishing for the A and B category buildings and it shall be submitted by qualified personal (Architects/ Structural/ Geotechnical/ Building Services Engineers etc...) at the time of issuing Renewal, Amendment and Certificate of Conformity (CoC) of the development.
- 7.4.42 The contractor/developer should provide a declaration that the work has been carried out as per the specifications and the drawings at the stage of Certification of Conformity (CoC).
- 7.4.43 For any development falls within A and B category public display board showing approvals/ permits / dates/ names of consultants/ Developer to be clearly visible from outside shall establish and it is a responsible of property owner.
- 7.4.44 Vehicle spare parts shops only 30% frontage shall be allowed to open and other area shall have covered.
- 7.4.45 All the boundary walls shall establish keeping 01 meter away from the edge of the road upon entering into an agreement with relevant authority.
- 7.4.46 Building Category,
- 7.4.46.1 The heights and land extent of proposed developments are as follows,

**Table 19: Building Categories**

<b>Building category according to the Building height</b>	<b>Number of Floors and Height (Meters)</b>	<b>Minimum Land extent</b>
Low rise building	Four (04) or less than four floors (04) or less than 15 meters.	06 Perch
Middle rise building	Six (06) or less than 06 floors or less than 22.5 meters.	25 Perch
High rise building	Seven floors or more than seven floors or not less than 22.5 meters.	40 Perch

- 7.4.46.2 When determining the height or number of floors of the building it shall be considered from the lowest floor to highest point of the building located in a row. It includes ground floor lower ground floors and upper floors. If any building proposes water tank or lift core room, only 3.3-meter height and 10% plot coverage out of total building plot coverage shall allowed.

- 7.4.46.3 If swimming pool proposes for the C category building it will be considered as a B category and if it proposes swimming pool on top of that building only 01-meter height shall allow for the height which determined by the regulation number 45. <sup>1</sup>
- 7.4.46.4 Development of new building or approving of existing building mentioned in the annexure no 05, within the Heritage area zone, and those developments are encompassing with indigenous characters of the Kandy city and its adhered to the regulations and guidelines mentioned in the chapter 8.13 of this plan, UDA has a power to approve that development without requesting the vehicle parking requirement for the existing building.
- 7.4.46.5 If any addition or alteration proposes to the conserved buildings mentioned in the annexure no 05 within the Heritage area zone and that buildings are developed as per the architectural features, regulations and guidelines mentioned in the chapter 8.13 of this development plan and those listed buildings conserve and maintain in to a satisfactory level of the authority, UDA has power to release the requirement of allocating a parking spaces for the floor area mentioned in the buildings in annexure no 05 from the proposed development.
- 7.4.46.6 In determining the permissible floor area pertaining to the Zone Factor given in Table 18 in the event of construction of buildings, the maximum floor area ratio shall be determined in accordance with the specifications given in Table 19.1, taking into account the slope of the proposed land.

Table no 19.1

Slope of the Land (In Degrees)	Permissible Maximum Plot Coverage	Percentage of permissible Maximum Floor Area Ratio
0° - 10°	Shall be compatible with zoning regulations.	100%
11° - 20°	Shall be compatible with zoning regulations.	75%
21° - 30°	50% (25% within Environment zone II )	50 %
31° - 45°	40 %	35 %
More than 45°	25 %	25% Shall be considered only if the recomondations including PPC by UDA, recommendation of NBRO and recommendation of Chartered Structural Engineer, have been granted.

- 7.4.46.7 When subdividing a sloppy land, the minimum land area shall be maintained in accordance with the specifications given in Table 19.2.

Table no 19.1

Slope of the Land (In Degrees)	Permissible Minimum Land Extent (Sqm)	Permissible Minimum Depth and Width of the Land
0° - 10°	150	Shall be compatible with planning and Development Regulations.
11° - 20°	250	
21° - 30°	500	
31° - 45°	750	
More than 45°	1000	Shall be considered only if the recomondations including PPC by UDA, recommendation of NBRO and recommendation of Chartered Structural Engineer, have been granted.

Chapter

**08**

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**Proposed Zoning  
Regulations**



## Chapter 08

# Proposed Zoning Regulations

### Sacred Area Zone

The zoning plan of the Kandy Municipal Council Area Development Plan has identified 11 development zones and the development regulations applicable to each zone are as follows.

## 8.1 Sacred Area Zone

This zone will act as the main cultural and religious areas that need to be conserved within this urban context.

### 8.1.1 Regulations and Permissible Uses for Sacred Area Zone

The Regulations and Permissible Uses of Sacred Area Zone of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 23 and 24.

**Table 20: Zoning regulations in Sacred Area Zone**

Zoning boundary (Coordinates)	Mentioned In Annexure 28
Zoning Factor	1.5
Permissible height limit	12 m from the ground level including Roof.
Permissible maximum plot coverage	0.80
Other details regarding the zone	<p>This zone will be an existing gazzted heritage areas including Sri Dalanda Maligawa (Palace of Blessed Tooth Relic), Bhayagiri and Wijesundararama temples belonging to the Asgiriya Chapter and Uposhitha, Pushparama temples belonging to the Malwatta chapter, Gatambe Rajamaha viharaya and the area belongs to the Sri Selva Vinagar Kovil. These areas are gazetted under the different gazzett notifications as follows,</p> <p>The sacred area with Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) gazetted under the special gazette notification no. 301 dated 08th June 1984.</p> <ol style="list-style-type: none"> <li>1. Bhayagiri and Wijesundararama temples belonging to the Asgiriya Chapter and Uposhitha, Pushparama temples belonging to the Malwatta chapter.</li> <li>2. The area belongs to the Gatambe Rajamaha Viharaya gazetted under the special gazette notification no. 1120/15 dated 23rd February 2000.</li> </ol>

	<ol style="list-style-type: none"> <li>3. The area belongs to the Gatambe Rajamaha Viharaya gazetted under the special gazette notification no. 1120/15 dated 23rd February 2000.</li> <li>4. The area belongs to the Sri Selva Vinagar Kovil gazetted under the special gazette notification no. 1258/2 dated 14th October 2002.</li> <li>5. The approved uses are permitted by the gazette notification No 1209/19 dated November 8, 2001 within the area declared as part of the sacred area and the development activities are carried out in this zone shall be in accordance with the proposed detailed guide plan in section 3 under “Development Guide Plans and Guide Plan Regulation” of this development plan.</li> <li>6. Terms and conditions in the Extraordinary Gazette Notification No. 301 dated 8th June, 1984 regarding the areas belongs to Sri Dalanda Maligawa (Palace of Blessed Tooth Relic) and its surrounding, apply to this zone.</li> <li>7. Religious and traditional activities are permitted in the areas designated by the legal boundaries of the Bhayagiri and Wijesundararama temples belonging to the Asgiriya Chapter and Uposhitha, Pushparama temples belonging to the Malwatta chapter.</li> <li>8. Partial activities for religious purpose listed in the gazette No. 1120/15 of 23rd February 2000 will be permitted in this zone.</li> <li>9. The terms and conditions given under the special gazette notification no. 1120/15 dated 23rd February 2000 regarding the area belongs to Gatambe Rajamaha Viharaya.</li> <li>10. The area belongs to the Sri Selva Vinagar Kovil gazetted under the special gazette notification no. 1258/2 dated 14th October 2002.</li> </ol>
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**Table 21: Permissible Uses in Sacred Area Zone**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	25m <sup>2</sup>
ii.	Studios	50m <sup>2</sup>
iii.	Restaurants	50m <sup>2</sup>

iv.	Communication Centres	50m2
v.	Saloons/Beauty Parlours	
(b.)Residential		
i.	Single Houses	
(c.)Institutional		
i	Governmental Offices	25m2
ii.	Professional's Offices	25m2
iii.	Banks and Financial Institutions	50m2
iv.	ATM Centres	
(d.) Social Services		
i.	Libraries	
ii.	Cultural Centres	
(e.) Tourism		
i.	Holiday resorts	
ii.	City hotels	
iii.	Guest houses	
(f.) Industry		
i.	Handicraft products / Indoor equipment (non-polluting)	Industries not exceeding 10 labours or 05 horse power.
(g.) Public and recreational		
i.	Parks	
ii.	Open spaces	
iii.	Landscaping Areas	

## 8.2 Heritage Area Zone

This area is developed as a conservation zone for the conservation of heritage buildings, facilitate for Kandy Perahara and to promote tourism industry. This area has special guide plan to protect and enhance the historical value with urban design guidelines.

### 8.2.1 Regulations and Permissible Uses for Heritage Area Zone

The Regulations and Permissible Uses of Heritage Area Zone of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 25 and 26.

**Table 22: Zoning regulations in Heritage Area Zone**

Zoning boundary (Coordinates)	Mentioned In Annexure 29
Zoning Factor	1.5
Permissible height limit	Maximum height of the building shall be 12 meter from ground level to top of the roof.
Permissible maximum plot coverage	0.80
Other details regarding the zone	<p>This zone has historically evolved roads network and 488 historical buildings that are represent heritage value of the Kandy city.</p> <ol style="list-style-type: none"> <li>1. Maximum height of the building shall be 12 meter from ground level to top of the roof and the minimum slope of the roof shall be 22 ½.</li> <li>2. Each development activity of this area shall be accordance with the special detailed guide plan outlined in section 8.13 of this development plan.</li> </ol>

**Table 23: Permissible Uses in Heritage Area Zone**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	
ii.	Supermarkets	100m <sup>2</sup>
iii.	Showrooms	
(b.) Residential		
i.	Residential houses	
ii.	Story Houses	

iii.	Residential Apartments	
iv.	Housing units	
v.	Hostels	
(c.) Health		
i.	Pharmacies	25m2
ii.	Medical advisory service centers	50m2
iii.	Ayurvedic medical centers	50m2
iv.	Massage centers	
(d.) Institutional		
i.	Governmental offices	
ii.	Professionals offices	
iii.	Conference halls	Less than 200 seats
iv.	Banks and Financial Institutions	
v.	ATM Centres	
(e.) Social Services		
i.	Community centres / Cultural centres	50m2
ii.	Libraries	
iii.	Body fitness centres/ Gymnasium	
iv.	Saloons/Beauty Parlours	
(f.) Tourism		
i.	Restaurant	
ii.	Reception Hall	Less than 200 seats
iii.	City Hotels	
iv.	Guest Houses	
v.	Holyday Resorts	
(g.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(h.) Public and recreational		
i.	Children's parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	

## 8.3 Utility Services Zone

This zone will be developed as a zone for providing utility services such as transport, health, shopping and recreational for the Commuters and Residence in the Kandy city.

### 8.3.1 Regulations and Permissible Uses for Utility Services Zone

The Regulations and Permissible Uses of Utility Services Zone of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 27 and 28.

**Table 24: Zoning regulations in Utility Services Zone**

Zoning boundary (Coordinates)	Mentioned In Annexure 30
Zoning Factor	2.75
Permissible height limit	Maximum height of the building (Up to roof top) shall be limited up to 528.55m Mean Sea Level value from the existing Mean Sea Level value of the Lands and table no 18
Permissible maximum plot coverage	Non Residential Developments - 0.80 Residential Developments – 0.65 High rises – 0.65 Podium and 0.50 Tower
Other details regarding the zone	No permission is granted for new development activities which will be promoted to the Kandy General Hospital, which belongs to this region, and will be permitted for the development of management of inconvenience for patients and staff in the hospital.

**Table 25: Permissible Uses in Utility Services Zone**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	
ii.	Supermarkets	
iii.	Liquor shops	
iv.	Filling stations	
v.	Gas filling stations for vehicles and electric charging points.	
vi.	Shopping Complexes	
vii.	Bakery	

viii.	Salons/ Beauty Pallor	
ix.	Electronic item repair centres	
x.	Funeral Parlours with event halls	
xi.	Laundry and Cloth cleaning centres	
(b.) Residential		
i.	Single Houses	
ii.	Residential Apartments	
iii.	Unit Houses	
iv.	Hostels	
(c.) Health		
i.	Pharmacies	
ii.	Medical advisory service centers	
iii.	Ayurvedic medical centers	
iv.	Laboratories	
(d.) Educational		
i.	Tuition Classes	
ii.	Kindergartens and preschools	
(e.) Institutional		
i.	Governmental offices	
ii.	Professionals offices	
iii.	Conference halls	Less than 200 seats
iv.	Banks and Financial Institutions	
v.	ATM Centres	
(f.) Social Services		
i.	Community centres / Cultural centres	
ii.	Libraries	
iii.	Body fitness centres/ Gymnasium	
iv.	Saloons/Beauty Parlours	
v.	Public Vehicle Parks	

(g.) Tourism		
i.	Restaurant	
ii.	Reception Hall	
iii.	City Hotels	
iv.	Guest Houses	
v.	Holiday Resorts	
(h.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(i.) Public and recreational		
i.	Children's parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Cinemas/ Open Theatres	

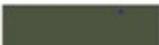
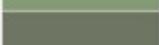
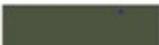
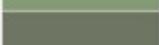
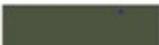
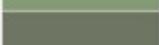
## 8.4 Lake Round Zone

This zone belongs to the area around the catchment of the Kandy Lake. It will be expected to protect the environment and provide facilities for tourism. It will also maintain the development compatible with the natural environment of this zone.

### 8.4.1 Regulations and Permissible Uses for Lake Round Zone

The Regulations and Permissible Uses of Lake Round Zone of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 29 and 30.

**Table 26: Zoning regulations in Lake Round Zone**

Zoning boundary (Coordinates)	Mentioned In Annexure 31																																							
Zoning Factor	1.0																																							
Permissible height limit	Maximum height of the buildings shall be subject to the height limits indicated in map no 22 and table no 18																																							
Permissible maximum plot coverage	0.50																																							
Other details regarding the zone	<ol style="list-style-type: none"> <li>1. No any further land subdivisions are allowed within this zone.</li> <li>2. No luminous colours shall allow for colour washing and recommended to use shades of colours in Black, Green, Brown, for colour washing as follows.</li> </ol> <div style="text-align: center;"> <table border="1"> <thead> <tr> <th>Color</th> <th>Hex</th> <th>RGB</th> </tr> </thead> <tbody> <tr> <td></td> <td>#4d5440</td> <td>(77,84,64)</td> </tr> <tr> <td></td> <td>#849b75</td> <td>(132,155,117)</td> </tr> <tr> <td></td> <td>#6e7562</td> <td>(110,117,98)</td> </tr> <tr> <td></td> <td>#555c48</td> <td>(85,92,72)</td> </tr> <tr> <td></td> <td>#676e58</td> <td>(103,110,88)</td> </tr> <tr> <td></td> <td>#32343e</td> <td>(50,52,62)</td> </tr> <tr> <td></td> <td>#404c54</td> <td>(64,76,84)</td> </tr> <tr> <td></td> <td>#446b6a</td> <td>(68,107,106)</td> </tr> <tr> <td></td> <td>#478d73</td> <td>(71,141,115)</td> </tr> <tr> <td></td> <td>#5ba95d</td> <td>(91,169,93)</td> </tr> <tr> <td></td> <td>#008330</td> <td>(0,131,48)</td> </tr> <tr> <td></td> <td>#006f02</td> <td>(0,111,2)</td> </tr> </tbody> </table> </div>	Color	Hex	RGB		#4d5440	(77,84,64)		#849b75	(132,155,117)		#6e7562	(110,117,98)		#555c48	(85,92,72)		#676e58	(103,110,88)		#32343e	(50,52,62)		#404c54	(64,76,84)		#446b6a	(68,107,106)		#478d73	(71,141,115)		#5ba95d	(91,169,93)		#008330	(0,131,48)		#006f02	(0,111,2)
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	<p>3. Each building within this zone shall finish with compatible roof for this zone existing landscape.</p> <p>4. 80% of Roofs and roof slabs shall covered with natural vegetation excluding residential developments.</p> <p>5. large cuts/fills shall not use for any development.</p> <p>6. Minimum 2 m front space from boundary line of site shall landscape with native plants.</p> <div style="text-align: center;">  <p>The diagram illustrates a cross-section of a site. A green hatched rectangle represents a building. Below it is an orange rectangle labeled 'Road'. A dashed horizontal line extends from the left side of the building to the right edge of the road. A bracket on the right side of this dashed line is labeled '2m Landscape area', indicating the required distance between the building and the road.</p> </div> <p>7. Retaining structures shall integrate well with the onsite architectural character and natural environment.</p> <p>8. More than 60% of frontage of Tourism related Buildings shall camouflage by using natural plants to blend with surrounding environment and landscape.</p> <p>9. No boundary walls shall be allowed other than hedges, live fencing, and chain link fencing with natural planting&amp; Retaining walls</p> <p>10. Retaining walls / fence layout and design shall conform to the natural terrain, where possible.</p> <p>11. Retaining structures shall integrate well with the onsite architectural character and natural environment.</p>
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**Table 27: Permissible Uses in Lake Round Zone**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	25m <sup>2</sup>
ii.	Salons/ Beauty Pallor	
(b.) Residential		
i.	Single Houses	
ii.	Unit Houses	
iii.	Hostels	

(c.) Health		
i.	Medical advisory service centers	25m2
ii.	Pharmacies	25m2
iii.	Ayurvedic medical centers	25m2
(d.) Institutional		
i.	Governmental offices	25m2
ii.	Professionals offices	50m2
iii.	Conference halls	Less than 50 seats
iv.	Banks and Financial Institutions	50m2
v.	ATM centres	
(e.) Social Services		
i.	Sports centres – Indoor/Outdoor	100m2
ii.	Community centres / Cultural centres	50m2
iii.	Libraries	
iv.	Day Care centres	50m2
v.	Elders Homes	
vi.	Children’s Homes	
vii.	Body fitness centres	50m2
(f.) Tourism		
i.	Restaurant	
ii.	Reception Hall	
iii.	City Hotels	
iv.	Guest Houses	
v.	Holiday Resorts	
(g.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(h.) Public and recreational		
i.	Children’s parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Linear Parks	
vi.	Mini Parks	
vii.	Pocket Parks	

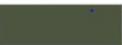
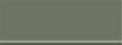
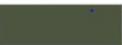
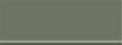
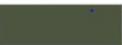
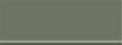
## 8.5 Mixed Development Zone

### 8.5.1 Regulations and Permissible Uses for Mixed Development Zone

The Regulations and Permissible Uses of Mixed Development Zone of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 31 and 32.

Mixed  
Development Zone

**Table 28: Zoning regulations in Mixed Development Zone**

Zoning boundary (Coordinates)	Mentioned In Annexure 32																																							
Zoning Factor	1.2																																							
Permissible height limit	Maximum height of the building should be limited to 15 meter (G+3) from ground level to top of the roof.  If any land falls within the visibility controlling zone, maximum height shall be subject to the height limits indicated in map no 24, 25 and table no 18.																																							
Permissible maximum plot coverage	Non Residential Developments - 0.65  Residential Developments – 0.65																																							
Other details regarding the zone	<p>1. No luminous colours shall allow for colour washing and recommended to use shades of colours in Black, Green, Brown, for colour washing as follows.</p> <table border="1"> <thead> <tr> <th>Color</th> <th>Hex</th> <th>RGB</th> </tr> </thead> <tbody> <tr> <td></td> <td>#4d5440</td> <td>(77,84,64)</td> </tr> <tr> <td></td> <td>#849b75</td> <td>(132,155,117)</td> </tr> <tr> <td></td> <td>#6e7562</td> <td>(110,117,98)</td> </tr> <tr> <td></td> <td>#555c48</td> <td>(85,92,72)</td> </tr> <tr> <td></td> <td>#676e58</td> <td>(103,110,88)</td> </tr> <tr> <td></td> <td>#32343e</td> <td>(50,52,62)</td> </tr> <tr> <td></td> <td>#404c54</td> <td>(64,76,84)</td> </tr> <tr> <td></td> <td>#446b6a</td> <td>(68,107,106)</td> </tr> <tr> <td></td> <td>#478d73</td> <td>(71,141,115)</td> </tr> <tr> <td></td> <td>#5ba95d</td> <td>(91,169,93)</td> </tr> <tr> <td></td> <td>#008330</td> <td>(0,131,48)</td> </tr> <tr> <td></td> <td>#006f02</td> <td>(0,111,2)</td> </tr> </tbody> </table> <p>2. Retaining structures shall integrate well with the onsite architectural character and natural environment.</p> <p>3. More than 60% of frontage of Tourism related Buildings shall camouflage by using natural plants to blend with surrounding environment and landscape.</p>	Color	Hex	RGB		#4d5440	(77,84,64)		#849b75	(132,155,117)		#6e7562	(110,117,98)		#555c48	(85,92,72)		#676e58	(103,110,88)		#32343e	(50,52,62)		#404c54	(64,76,84)		#446b6a	(68,107,106)		#478d73	(71,141,115)		#5ba95d	(91,169,93)		#008330	(0,131,48)		#006f02	(0,111,2)
Color	Hex	RGB																																						
	#4d5440	(77,84,64)																																						
	#849b75	(132,155,117)																																						
	#6e7562	(110,117,98)																																						
	#555c48	(85,92,72)																																						
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	#404c54	(64,76,84)																																						
	#446b6a	(68,107,106)																																						
	#478d73	(71,141,115)																																						
	#5ba95d	(91,169,93)																																						
	#008330	(0,131,48)																																						
	#006f02	(0,111,2)																																						

**Table 29: Permissible Uses in Mixed Development Zone**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	
ii.	Supermarkets	
iii.	Liquor shops	
iv.	Filling stations	
v.	Gas filling stations for vehicles and electric charging points.	
vi.	Shopping Complexes	
vii.	Bakery	
viii.	Salons/ Beauty Parlours	
ix.	Electric item repairing centres	
x.	Funeral parlours with event hall	
xi.	Laundry/ Cloth cleaning centres	
xii.	Grinding Mills	
xiii.	Welding workshops and Lathe workshops	
xiv.	Garage	
xv.	Vehicle Service centres	
(b.) Residential		
i.	Single Houses	
ii.	Residential Apartments	
iii.	Unit Houses	
iv.	Hostels	
(c.) Health		
i.	Pharmacies	50m2
ii.	Medical advisory service centers	25m2
iii.	Ayurvedic medical centers	25m2
iv.	Massage centers	25m2
v.	Laboratories & Sample collecting centers	25m2
vi.	Veterinary Clinics	

(d.) Educational		
i.	Kindergartens and preschools	Less than 50 students
ii.	Private Tuition Classes	25m2
(e.) Institutional		
i.	Governmental offices	50m2
ii.	Professionals offices	50m2
iii.	Conference halls	Less than 50 seats
iv.	Banks and Financial Institutions	50m2
v.	ATM Centres	
(f.) Social Services		
i.	Sports Complexes (Indoor/ Outdoor)	100m2
ii.	Community centres / Cultural centres	50m2
iii.	Libraries	
iv.	Body fitness centres/ Gymnasium	50m2
v.	Day-care Centres	50m2
vi.	Elders Homes/ Children's Homes	
(g.) Tourism		
i.	Restaurant	
ii.	Reception Hall	
iii.	City Hotels	
iv.	Guest Houses	
v.	Holiday Resorts	
vi.	Tourist Hotels	
(h.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(i.) Public and recreational		
i.	Children's parks	
ii.	Parks (Mini Parks/ Pocket Parks/ Linear Parks)	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Cinemas/ Open Theatres	

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**Proposed  
Zoning  
Regulations**

Residential Zone

## 8.6 Residential Zone

This zone is predominantly allocated to promote residential developments with moderate density. It is expected to maintain a moderately dense residential development while providing other infrastructure facilities for residential uses to achieve comfortable living space in this urban context.

### 8.6.1 Regulations and Permissible Uses for Residential Zone

The Regulations and Permissible Uses of Residential Zone of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 33 and 34.

**Table 30: Zoning regulations in Residential Zone**

Zoning boundary (Coordinates)	Mentioned In Annexure 33
Zoning Factor	1.5
Permissible height limit	As per the map no 24, 25 and table no 18.
Permissible maximum plot coverage	Non Residential Developments - 0.65 Residential Developments – 0.65 High rises – 0.65 Podium and 0.50 Tower
Other details regarding the zone	Permission is granted for tourist hotels and lodges within 100 meters from the boundary of the Mahaweli River in this zone and the minimum land area required for such development activities should be 500 square meters and all other regulations applicable.

**Table 31: Permissible Uses in Residential Zone**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	
ii.	Supermarkets	
iii.	Liquor shops	
iv.	Filling stations	
v.	Gas filling stations for vehicles and electric charging points.	
vi.	Bakery	
vii.	Salons/ Beauty Parlours	
viii.	Showrooms	

ix.	Vehicle Spare parts	
x.	Hardware	
xi.	Electric item repairing centres	
xii.	Funeral Parlours and event halls	
xiii.	Grinding Mills	
xiv.	Welding and Lathe work shops	
(b.) Residential		
i.	Single Houses	
ii.	Residential Apartments	
iii.	Unit Houses	
iv.	Hostels	
(c.) Health		
i.	Pharmacies	50m2
ii.	Medical advisory service centers	25m2
iii.	Ayurvedic medical centers	25m2
iv.	Massage centers	25m2
v.	Laboratories and Sample collecting centers	25m2
vi.	Veterinary Clinics	25m2
(d.) Educational		
i.	Kindergartens and preschools	Less than 50 students
ii.	Private Tuition Classes	25m2
(e.) Institutional		
i.	Professionals offices	25m2
ii.	Conference halls	Less than 50 seats
iii.	Banks and Financial Institutions	50m2
iv.	ATM Centres	
(f.) Social Services		
i.	Sports Complexes (Indoor/ Outdoor)	100m2
ii.	Community centres / Cultural centres	50m2
iii.	Libraries	
iv.	Body fitness centres/ Gymnasium	50m2

v.	Day-care Centres	50m2
vi.	Elders Homes/ Children's Homes	
(g.) Tourism		
i.	Restaurant	100m2
ii.	Reception Hall	50m2
iii.	City Hotels	
iv.	Guest Houses	Less than 10 rooms
v.	Holiday Resorts	Less than 10 rooms
vi.	Tourist Hotels	Less than 10 rooms
(h.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(i.) Public and recreational		
i.	Children's parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Cinemas/ Open Theatres/ Art Galleries	

## 8.7 Commercial Zone I

This zone covers the existing town area which has been rapidly developed during the past decade from town center to University junction along the William Gopallawa Mawatha and Uda Peradeniya Road. According to the concept of the development plan and the sensitivity of the area developments are concentrated along these main arterials with moderate vertical density and horizontal density. This zone is proposed to have vibrant commercial character along the main street (William Gopallawa Mawatha and Uda Peradeniya Road).

### 8.7.1 Regulations and Permissible Uses for Commercial Zone I

The Regulations and Permissible Uses of Commercial Zone I of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 35 and 36.

**Table 32: Zoning regulations in Commercial Zone I**

Zoning boundary (Coordinates)	Mentioned In Annexure 34
Zoning Factor	1.75
Permissible height limit	If any land falls within the visibility controlling zone, maximum height shall be subject to the height limits indicated in map no 23 and table no 18
Permissible maximum plot coverage	Non Residential Developments - 0.80 Residential Developments – 0.65 High rises – 0.65 Podium and 0.50 Tower
Other details regarding the zone	Minimum 2 m front space from boundary line of site shall landscape with native plants. 

**Table 33: Permissible Uses in Commercial Zone I**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	
ii.	Supermarkets	

iii.	Liquor shops	
iv.	Filling stations	
v.	Gas filling stations for vehicles and electric charging points.	
vi.	Bakery	
vii.	Salons/ Beauty Parlours	
viii.	Showrooms/ Furniture shops	
ix.	Vehicle Spare parts	
x.	Hardware	
xi.	Whole Sale stores	
xii.	Studios	
xiii.	Communication centres	
xiv.	Plan nurseries	
xv.	Filling Stations	
xvi.	Vehicle Service Centres	
xvii.	Garage	
xviii.	Electric item repairing centres	
xix.	Funeral parlours and event halls	
xx.	Laundry and Cloth cleaning centres	
xxi.	Grinding mills	
(b.) Residential		
i.	Single Houses	
ii.	Residential Apartments	
iii.	Unit Houses	
iv.	Hostels	
(c.) Health		
i.	Pharmacies	25m <sup>2</sup>
ii.	Medical advisory service centers	50m <sup>2</sup>
iii.	Ayurvedic medical centers	50m <sup>2</sup>
iv.	Massage centers	25m <sup>2</sup>
v.	Laboratories and sample collecting centers	50m <sup>2</sup>
vi.	Veterinary Clinics	25m <sup>2</sup>

(d.) Educational		
i.	Kindergartens and preschools	
ii.	Private Tuition Classes	25m2
(e.) Institutional		
	Government offices	50m2
ii.	Professionals offices	25m2
iii.	Banks and Financial Institutions	50m2
iv.	ATM Centres	
(f.) Social Services		
i.	Sports Complexes (Indoor/ Outdoor)	100m2
ii.	Community centres / Cultural centres	50m2
iii.	Libraries	
iv.	Body fitness centres/ Gymnasium	
v.	Day-care Centres	
vi.	Elders Homes/ Children's Homes	
(g.) Tourism		
i.	Restaurant	25m2
ii.	Reception Hall	50m2
iii.	Holiday Resorts	
(h.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(i.) Public and recreational		
i.	Children's parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Cinemas/ Open Theatres/ Art Galleries	

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Commercial Zone  
II

## 8.8 Commercial Zone II

This zone covers the existing town area which has been rapidly developed during the past decade from Old Matale junction to Katugasthota town. It is expected to facilitate high-density mixed-use development and preserve the views of the nearby Hanthana Mountain. According to the concept of the development plan and the sensitivity of the area, developments are concentrated along these main arterials with moderate vertical density and horizontal density.

This zone is proposed to have vibrant commercial character along the main street (From Old Matale junction to Katugasthota town).

### 8.8.1 Regulations and Permissible Uses for Commercial Zone II

The Regulations and Permissible Uses of Commercial Zone II of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 37 and 38.

**Table 34: Zoning regulations in commercial Zone II**

Zoning boundary (Coordinates)	Mentioned In Annexure 35
Zoning Factor	1.75
Permissible height limit	If any land falls within the visibility controlling zone, maximum height shall be subject to the height limits indicated in map no 25.
Permissible maximum plot coverage	Non Residential Developments - 0.80 Residential Developments – 0.65 High rises – 0.65 Podium and 0.50 Tower
Other details regarding the zone	Minimum 2 m front space from boundary line of site shall landscape with native plants. 

**Table 35: Permissible Uses in Commercial Zone II**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	
ii.	Supermarkets	
iii.	Liquor shops	
iv.	Filling stations	
v.	Gas filling stations for vehicles and electric charging points.	
vi.	Bakery	
vii.	Salons/ Beauty Parlours	
viii.	Showrooms/ Furniture shops	
ix.	Vehicle Spare parts	
x.	Hardware	
xi.	Whole Sale stores	
xii.	Studios	
xiii.	Communication centres	
xiv.	Plant nurseries	
xv.	Vehicle Service Centres	
xvi.	Garage	
xvii.	Electric item repairing centres	
xviii.	Funeral parlours and event halls	
xix.	Laundry and Cloth cleaning centres	
xx.	Grinding mills	
(b.) Residential		
i.	Single Houses	
ii.	Residential Apartments	
iii.	Unit Houses	
iv.	Hostels	
(c.) Health		
i.	Pharmacies	25m <sup>2</sup>
ii.	Medical advisory service centers	50m <sup>2</sup>
iii.	Ayurvedic medical centers	50m <sup>2</sup>
iv.	Massage centers	25m <sup>2</sup>

v.	Laboratories and Sample collecting centers	50m2
vi.	Veterinary Clinics	25m2
(d.) Educational		
i.	Kindergartens and preschools	
ii.	Private Tuition Classes	50m2
(e.) Institutional		
i.	Government offices	50m2
ii.	Professionals offices	25m2
iii.	Banks and Financial Institutions	
iv.	ATM Centres	
(f.) Social Services		
i.	Sports Complexes (Indoor/ Outdoor)	
ii.	Community centres / Cultural centres	
iii.	Libraries	
iv.	Body fitness centres/ Gymnasium	
v.	Day-care Centres	
vi.	Elders Homes/ Children's Homes	
(g.) Tourism		
i.	Restaurant	
ii.	Reception Hall	
iii.	Holiday Resorts	
iv.	City Hotels	
v.	Tourist Hotels	
vi.	Guest House	
(h.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
(i.) Public and recreational		
i.	Children's parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Cinemas/ Open Theatres/ Art Galleries	

## 8.9 Commercial Zone III

This zone covers the existing town area which has been rapidly developed during the past decade from along the A9 road and Katugasthota town area. It is expected to facilitate high-density mixed-use development and preserve the while preserving the views of the nearby Hanthana Mountain. Also it is expected to grab the development potential of the central highway connection to the Katugasthota. According to the concept of the development plan and the sensitivity of the area developments are concentrated along these main arterials with moderate vertical density and horizontal density.

This zone is proposed to have vibrant commercial character along the main street to (Along A9 road and Katugasthota town).

### 8.9.1 Regulations and Permissible Uses for Commercial Zone III

The Regulations and Permissible Uses of Commercial Zone III of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 39 and 40.

**Table 36: Zoning regulations in Commercial Zone III**

Zoning boundary (Coordinates)	Mentioned In Annexure 36
Zoning Factor	2.0
Permissible height limit	As per the table no 18
Permissible maximum plot coverage	Non Residential Developments - 0.80 Residential Developments – 0.65 High rises – 0.65 Podium and 0.50 Tower
Other details regarding the zone	Minimum 2 m front space from boundary line of site shall landscape with native plants. 

**Table 37: Permissible Uses in Commercial Zone III**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	

ii.	Supermarkets	
iii.	Liquor shops	
iv.	Filling stations	
v.	Gas filling stations for vehicles and electric charging points.	
vi.	Bakery	
vii.	Salons/ Beauty Parlours	
viii.	Showrooms/ Furniture shops	
ix.	Vehicle Spare parts	
x.	Hardware (Sand/Metal/Cement/Wire and Pipes)	
xi.	Hardware (Other materials)	
xii.	Whole Sale stores	
xiii.	Studios	
xiv.	Communication centres	
xv.	Plant nurseries	
xvi.	Electric item repairing centres	
xvii.	Funeral Parlours with event halls	
xviii.	Grinding mills	
xix.	Welding workshops and Lathe workshops	
(b.) Residential		
i.	Single Houses	
ii.	Story Houses	
iii.	Residential Apartments	
iv.	Housing units	
v.	Hostels	
(c.) Health		
i.	Pharmacies	25m <sup>2</sup>
ii.	Medical advisory service centers	50m <sup>2</sup>
iii.	Maternity and Family Health care center	
iv.	Ayurvedic medical centers	50m <sup>2</sup>
v.	Veterinary Clinics	
vi.	Massage centers	25m <sup>2</sup>
vii.	Laboratories and sample collecting centers	50m <sup>2</sup>
(d.) Educational		
i.	Kindergartens and preschools	
ii.	Private Tuition Classes	50m <sup>2</sup>

(e.) Institutional		
i.	Government offices	50m2
ii.	Professionals offices	25m2
iii.	Banks and Financial Institutions	
iv.	ATM Centres	
(f.) Social Services		
i.	Sports Complexes (Indoor/ Outdoor)	
ii.	Community centres / Cultural centres	
iii.	Libraries	
iv.	Body fitness centres/ Gymnasium	
v.	Day-care Centres	
vi.	Elders Homes/ Children's Homes	
(g.) Tourism		
i.	Restaurant	
ii.	Reception Hall	
iii.	Holiday Resorts	
iv.	City Hotels	
v.	Tourist Hotels	
vi.	Guest House	
(h.) Industries		
i.	Handicraft products / Indoor equipment (non-polluting)	
ii.	Solid Waste Recycling industries	
(i.) Public and recreational		
i.	Children's parks	
ii.	Parks	
iii.	Open spaces	
iv.	Landscaping Areas	
v.	Cinemas/ Open Theatres/ Art Galleries	
(j) Vehicle and Vehicle related uses		
i.	Vehicle Showrooms/ Car Sales	
ii.	Garage	
iii.	Automobile Service Centres	
iv.	Vehicle washing centres	
v.	Parking areas	
vi.	Taxi Services Centres	

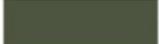
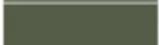
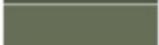
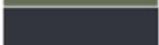
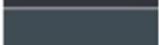
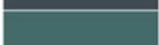
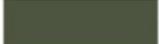
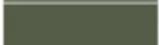
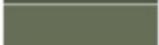
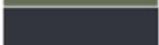
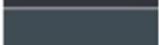
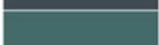
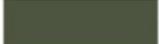
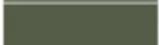
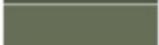
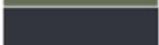
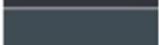
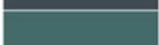
## 8.10 Environment Zone I

### 8.10.1 Regulations and Permissible Uses for Environment Zone I

Environment  
Zone I

The Regulations of Environment Zone I of proposed Kandy Municipal Council Area zoning plan have in listed below in Table no 41.

**Table 38: Zoning regulations in Environment Zone I**

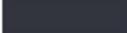
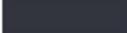
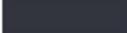
Zoning boundary (Coordinates)	Mentioned In Annexure 37																																							
Zoning Factor	0.0																																							
Permissible height limit	0																																							
Permissible maximum plot coverage	0																																							
Other details regarding the zone	<ol style="list-style-type: none"> <li>1. Any type of development in this zone is not permitted, only tree planting or cultivation.</li> <li>2. And only repairing/ colour washing to the existing building are allowed within this zone.</li> <li>3. Recommended to use shades of colours in Black &amp;, Green for colour washing of existing buildings as follows,</li> </ol> <table border="1"> <thead> <tr> <th>Color</th> <th>Hex</th> <th>RGB</th> </tr> </thead> <tbody> <tr> <td></td> <td>#4d5440</td> <td>(77,84,64)</td> </tr> <tr> <td></td> <td>#849b75</td> <td>(132,155,117)</td> </tr> <tr> <td></td> <td>#6e7562</td> <td>(110,117,98)</td> </tr> <tr> <td></td> <td>#555c48</td> <td>(85,92,72)</td> </tr> <tr> <td></td> <td>#676e58</td> <td>(103,110,88)</td> </tr> <tr> <td></td> <td>#32343e</td> <td>(50,52,62)</td> </tr> <tr> <td></td> <td>#404c54</td> <td>(64,76,84)</td> </tr> <tr> <td></td> <td>#446b6a</td> <td>(68,107,106)</td> </tr> <tr> <td></td> <td>#478d73</td> <td>(71,141,115)</td> </tr> <tr> <td></td> <td>#5ba95d</td> <td>(91,169,93)</td> </tr> <tr> <td></td> <td>#008330</td> <td>(0,131,48)</td> </tr> <tr> <td></td> <td>#006f02</td> <td>(0,111,2)</td> </tr> </tbody> </table>	Color	Hex	RGB		#4d5440	(77,84,64)		#849b75	(132,155,117)		#6e7562	(110,117,98)		#555c48	(85,92,72)		#676e58	(103,110,88)		#32343e	(50,52,62)		#404c54	(64,76,84)		#446b6a	(68,107,106)		#478d73	(71,141,115)		#5ba95d	(91,169,93)		#008330	(0,131,48)		#006f02	(0,111,2)
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## 8.11 Environment Zone II

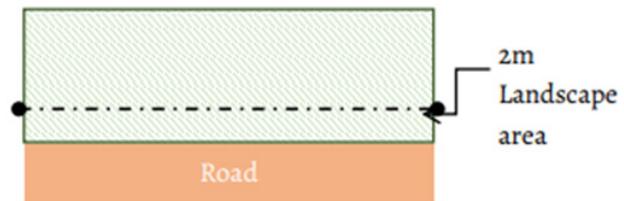
### 8.11.1 Regulations and Permissible Uses for Environment Zone II

The Regulations and Permissible Uses of Environment Zone II of proposed Kandy Municipal Council Area zoning plan have in listed below in Table 42 and 43.

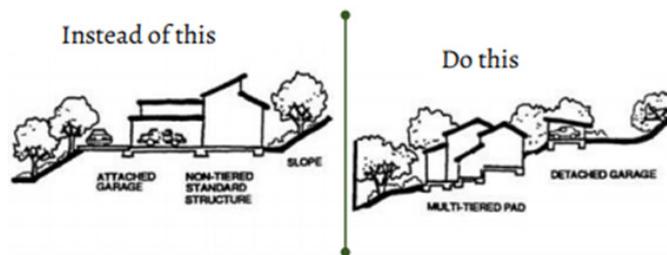
**Table 39: Zoning regulations in Environment Zone II**

Zoning boundary (Coordinates)	Mentioned In Annexure 38																																							
Zoning Factor	0.5																																							
Permissible height limit	Maximum height is only 6 meters from the lowest level of the existing ground of the proposed site.																																							
Permissible maximum plot coverage	0.25																																							
Other details regarding the zone	<p>1. Recommended to use shades of colours in Black &amp;, Green for colour washing of existing buildings as follows,</p> <table border="1"> <thead> <tr> <th>Color</th> <th>Hex</th> <th>RGB</th> </tr> </thead> <tbody> <tr> <td></td> <td>#4d5440</td> <td>(77,84,64)</td> </tr> <tr> <td></td> <td>#849b75</td> <td>(132,155,117)</td> </tr> <tr> <td></td> <td>#6e7562</td> <td>(110,117,98)</td> </tr> <tr> <td></td> <td>#555c48</td> <td>(85,92,72)</td> </tr> <tr> <td></td> <td>#676e58</td> <td>(103,110,88)</td> </tr> <tr> <td></td> <td>#32343e</td> <td>(50,52,62)</td> </tr> <tr> <td></td> <td>#404c54</td> <td>(64,76,84)</td> </tr> <tr> <td></td> <td>#446b6a</td> <td>(68,107,106)</td> </tr> <tr> <td></td> <td>#478d73</td> <td>(71,141,115)</td> </tr> <tr> <td></td> <td>#5ba95d</td> <td>(91,169,93)</td> </tr> <tr> <td></td> <td>#008330</td> <td>(0,131,48)</td> </tr> <tr> <td></td> <td>#006f02</td> <td>(0,111,2)</td> </tr> </tbody> </table> <p>2. The minimum lot size to be applied on a development work in this should be 500 square meters.</p> <p>3. Existing lots less than 500 square meters are permitted only for residential purposes.</p> <p>4. 4. More than 60% of frontage of Tourism related Buildings shall camouflage by using natural plants to blend with surrounding environment and landscape.</p>	Color	Hex	RGB		#4d5440	(77,84,64)		#849b75	(132,155,117)		#6e7562	(110,117,98)		#555c48	(85,92,72)		#676e58	(103,110,88)		#32343e	(50,52,62)		#404c54	(64,76,84)		#446b6a	(68,107,106)		#478d73	(71,141,115)		#5ba95d	(91,169,93)		#008330	(0,131,48)		#006f02	(0,111,2)
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	#008330	(0,131,48)																																						
	#006f02	(0,111,2)																																						

5. No boundary walls are allowed other than hedges, live fencing, and chain link fencing with natural planting & Retaining walls.
6. Retaining walls / fence layout and design shall conform to the natural terrain, where possible.
7. Retaining structures shall integrate well with the onsite architectural character and natural environment.
8. Minimum 2 m front space from boundary line of site shall landscape with native plants.



9. Proposed structures shall utilize split pads, stepped footings and grade separations in order to conform to the natural terrain. Detaching parts of a dwelling such as a garage, utilizing below grade rooms, and using roofs on lower levels for the deck space of upper levels are recommended.



**Table 40: Permissible Uses in Environment Zone II**

No.	Permissible uses	Maximum built up area (Sq. m)
(a.) Commercial		
i.	Retail shops	25m <sup>2</sup>
ii.	Saloons/Beauty Parlours	50m <sup>2</sup>
(b.) Residential		
i.	Single Houses	
(c.) Social Services		
i.	Day care centres	50m <sup>2</sup>
ii.	Community Centres / Cultural Centres	50m <sup>2</sup>
iii.	Elders homes/ Children's Homes	
(d.) Tourism		
i.	Circuit bungalows	
ii.	Guest Houses	
(e.) Public & Recreational		
i.	Parks	
ii.	Open spaces	
iii.	Landscaping Areas	

Chapter 08

**Proposed  
Zoning  
Regulations**

Permissible  
Height Limits  
according to  
the Visibility  
Analysis

## 8.12 Permissible Height Limits according to the Visibility Analysis

### 8.12.1 Purpose of the visibility protection

Kandy Municipal Council area is located above 500 m from the mean sea level and geographically surrounded by scenic mountain ranges. Those greenish mountain ranges can be seen from the various locations where most people gathered. Conserving of those vistas is vital to protect the unique environmental landscape of Kandy. As second goal of the Kandy Municipal Council development plan, create “Emerald Environment” through the harmony between natural and man-made environment and it reflects in third objective with Conservation of 1/3 of mountainous range of upper limit, in preserving town scenery within Kandy town in the year 2030.

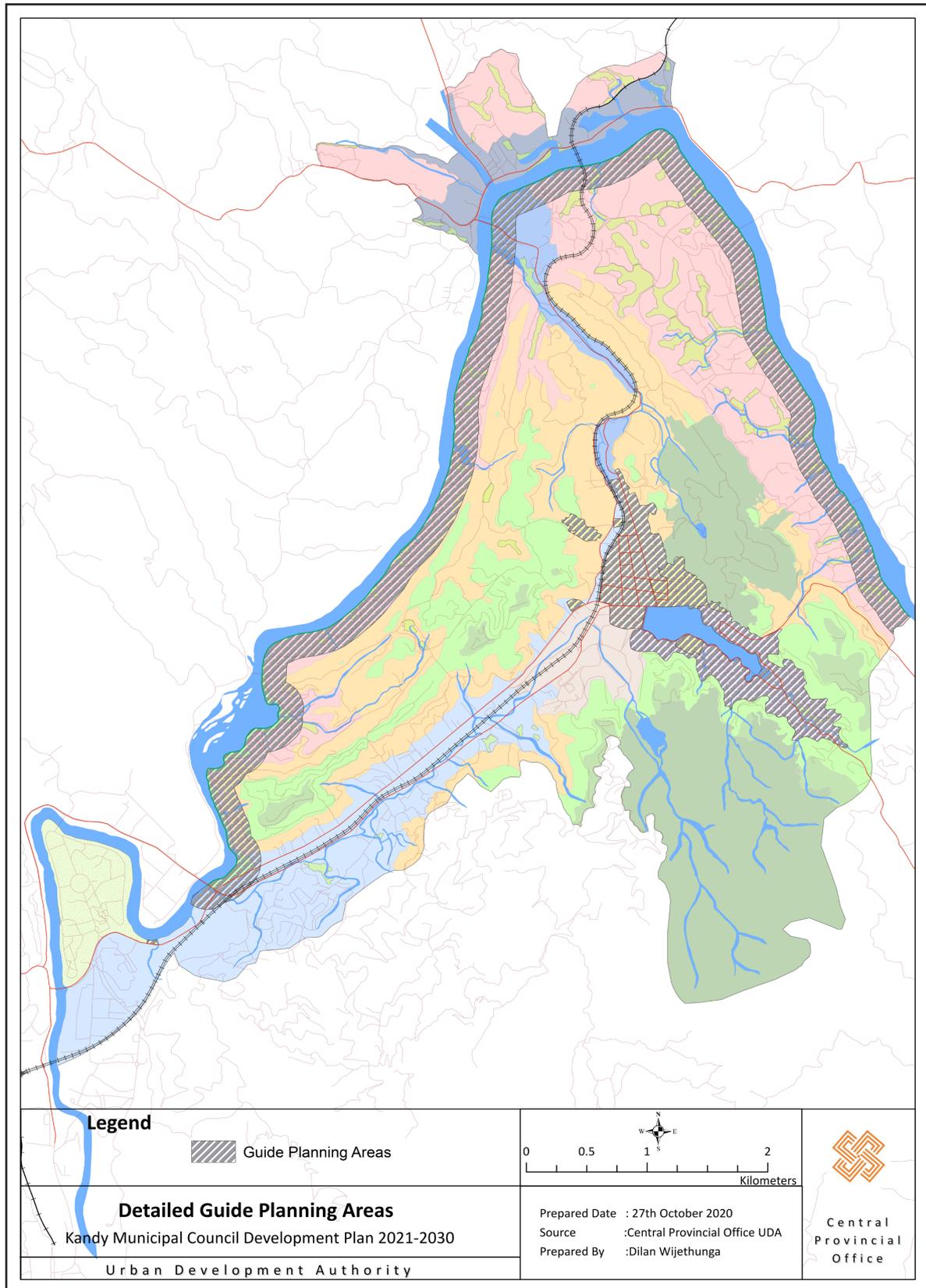
**Figure 50: Sceneries through View points**



Source: Field Survey UDA Central Provincial Office, 2020

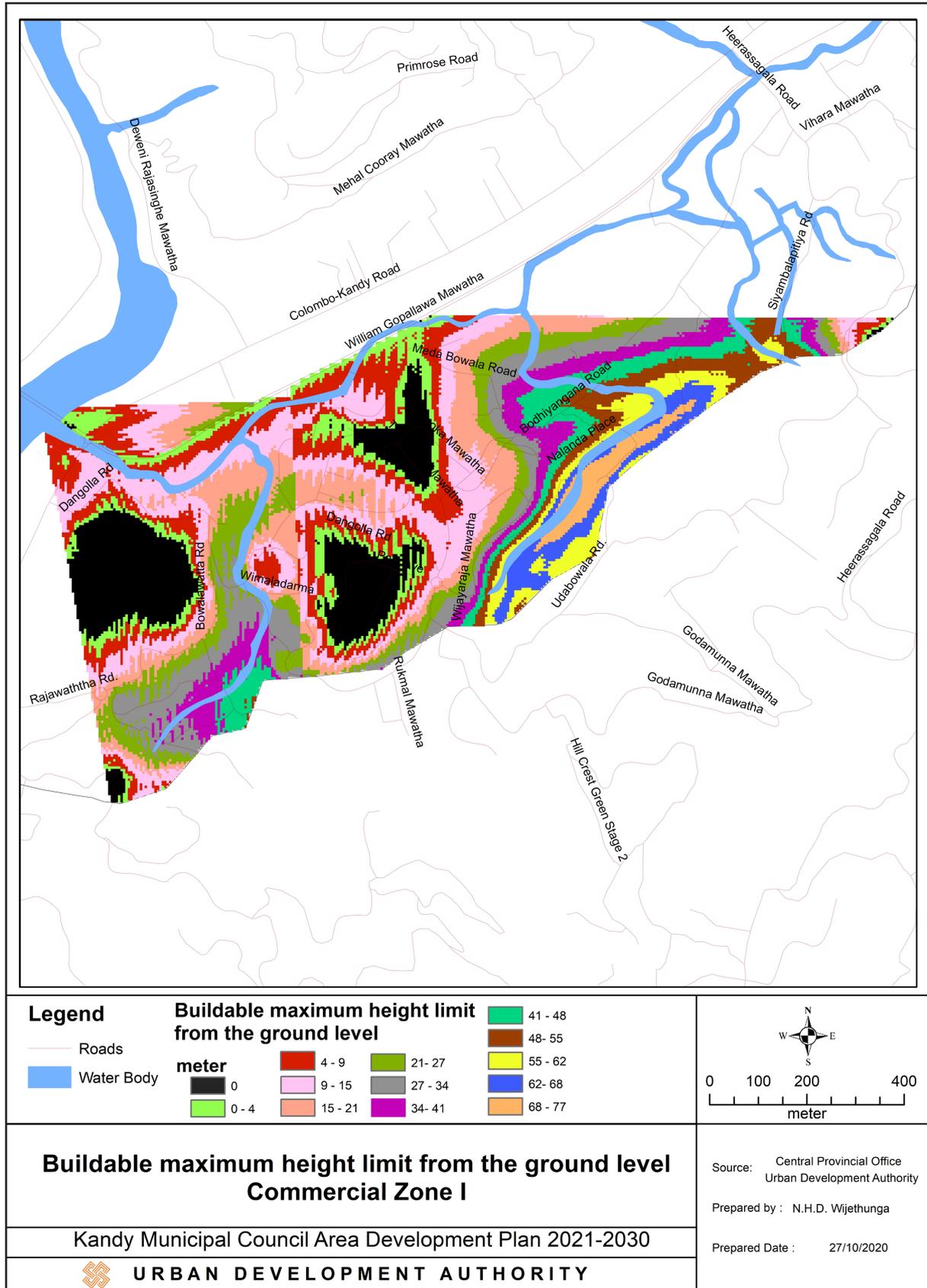
## 8.12.2 Permissible height map for identified visibility protecting corridors

Map 21: Permissible height map for identified visibility protecting corridors

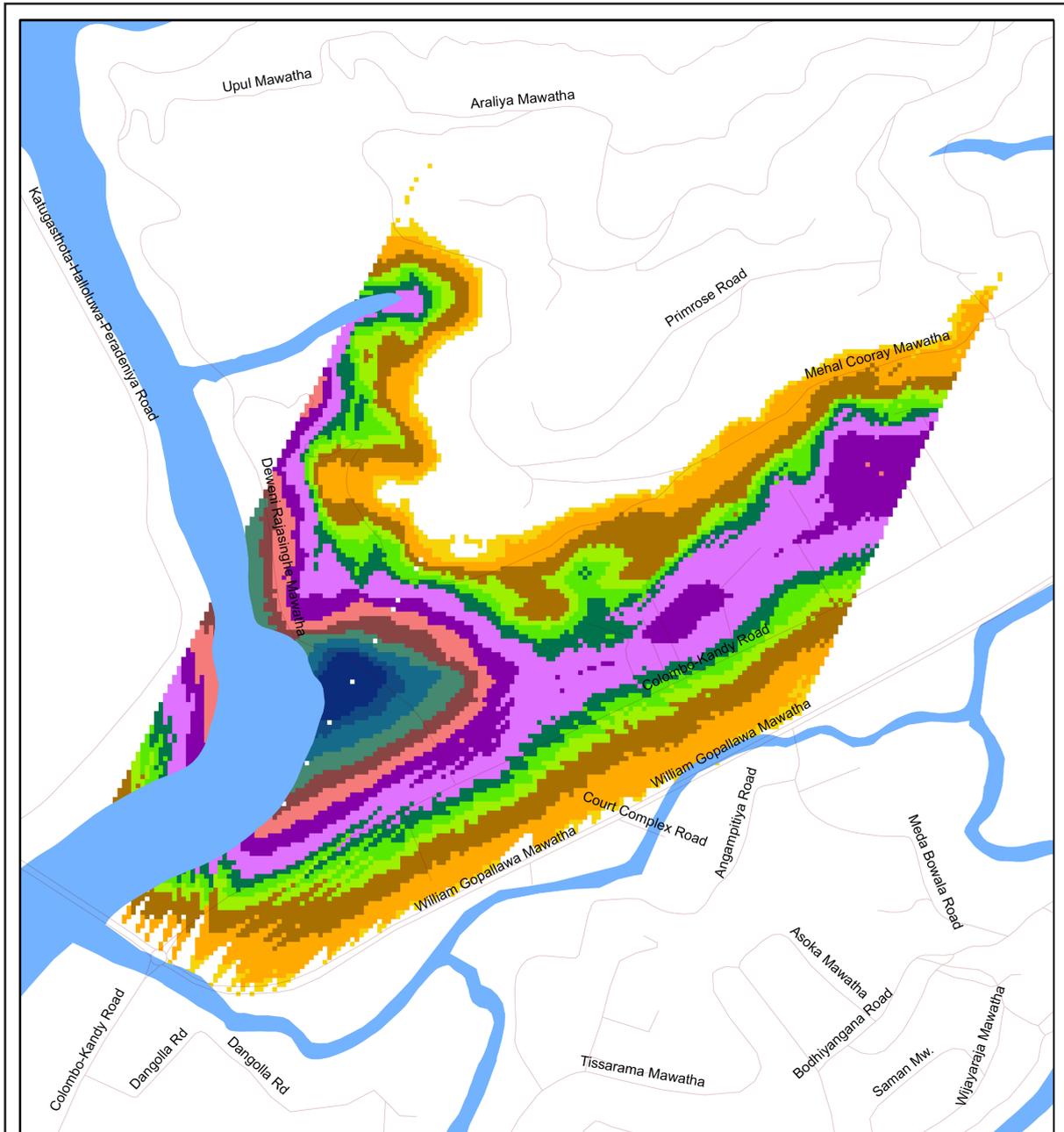




Map 23: Height Controlling Area 02 – Commercial zone I

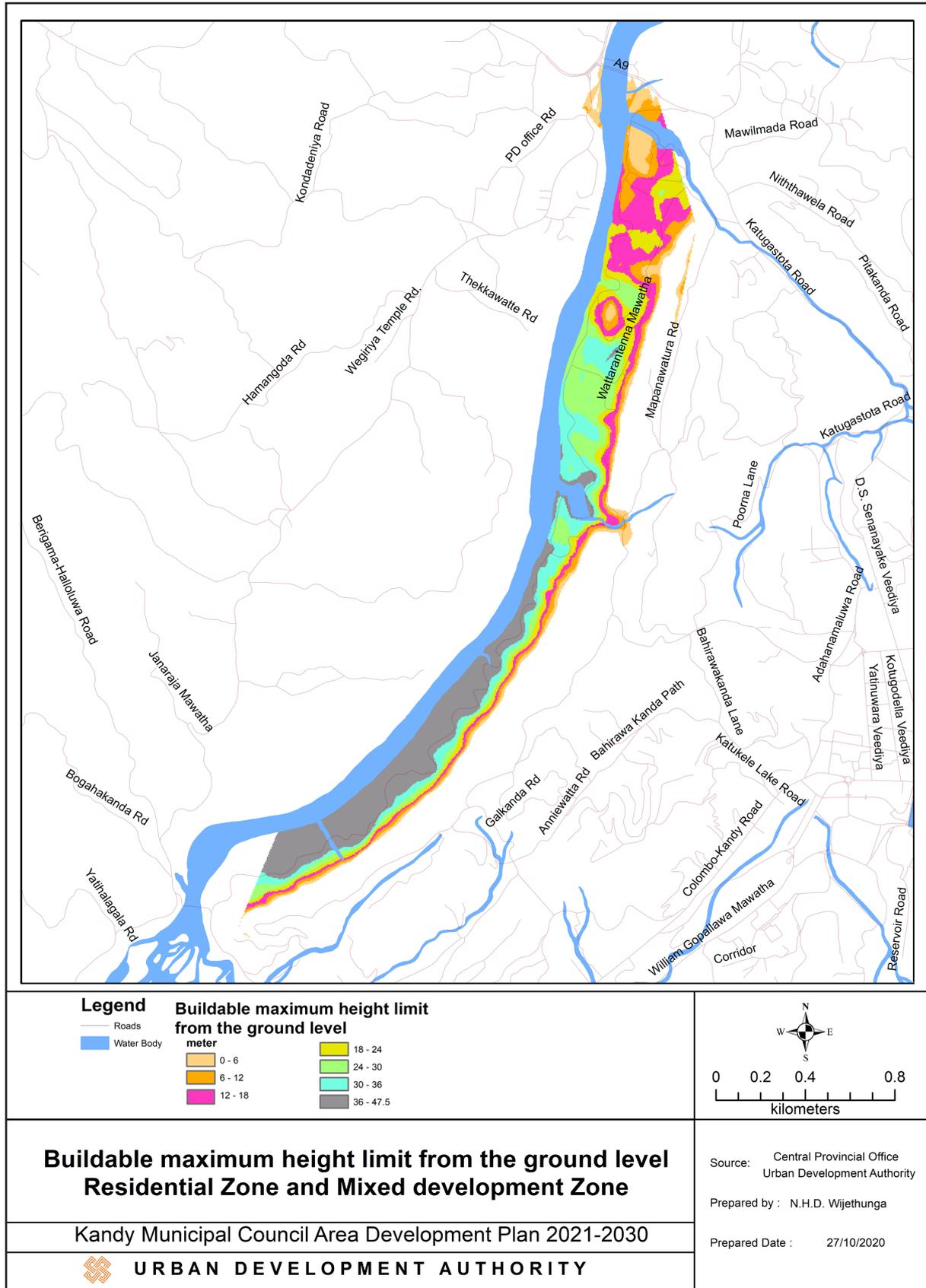


**Map 24: Height Controlling Area 03 – Residential Zone and Mixed Development zone**



<p><b>Legend</b></p> <p>— Roads</p> <p>Water Body</p>	<p><b>Buildable maximum height limit from the ground level</b></p> <p>meter</p> <p>0 - 3</p> <p>3 - 9</p>	<table border="0"> <tr> <td>9 - 15</td> <td>36 - 42</td> </tr> <tr> <td>15 - 18</td> <td>42 - 48</td> </tr> <tr> <td>18 - 21</td> <td>48 - 54</td> </tr> <tr> <td>21 - 24</td> <td>54 - 60</td> </tr> <tr> <td>24 - 30</td> <td>60 - 63</td> </tr> <tr> <td>30 - 36</td> <td>63 - 69</td> </tr> </table>	9 - 15	36 - 42	15 - 18	42 - 48	18 - 21	48 - 54	21 - 24	54 - 60	24 - 30	60 - 63	30 - 36	63 - 69	
9 - 15	36 - 42														
15 - 18	42 - 48														
18 - 21	48 - 54														
21 - 24	54 - 60														
24 - 30	60 - 63														
30 - 36	63 - 69														
<p align="center"><b>Buildable maximum height limit from the ground level Residential Zone and Mixed development Zone</b></p>			<p>Source: Central Provincial Office Urban Development Authority</p> <p>Prepared by : N.H.D. Wijethunga</p>												
<p align="center">Kandy Municipal Council Area Development Plan 2021-2030</p>			<p>Prepared Date : 27/10/2020</p>												
<p align="center"> <b>URBAN DEVELOPMENT AUTHORITY</b> </p>															

**Map 25: Height Controlling Area 04 – Commercial zone II, Residential zone and Mixed Development zone**



## **8.13 Development Guide Plans and Guide Plan Regulation**

### **8.13.1 Detail Planning Area**

This detailed guide plan applies to the area of Heritage area zone in this development plan and the area declared as Sacred area in the Extraordinary Gazette Notification No. 1209/19 dated 08th November 2001. The basic planning concept of the detail planning area is to Preserve and conservation of historic and cultural assets of Heritage Area with the surrounding natural environment and to Preservation of human-scale historic street scape focusing on the Commercial Grid Zone and scenic view in the Lake Around Zone. Apart from that another main objective is to Create pedestrian friendly road networks and open spaces network to integrate urban functions with the Heritage Area

### **8.13.2 Guidelines for the conservation of World heritage buildings**

The following instructions should be followed in the development work of the World Heritage Buildings shown in Annexure 5 of this Development Plan.

#### **8.13.2.1 Conservation guidelines for A Grade building**

Such buildings cannot be altered or demolished, and any changes to such a building must be approved by the World Heritage Building Conservation and Technical Committee and the Planning Committee. Accordingly,

1. The design should be supervised by the World Heritage Building Conservation and Technology Subcommittee.
2. It is not permissible to use Inappropriate raw materials for renovation.
3. Apart from the conservation, the amendments and alterations for the existing buildings shall not permissible.
4. The roof, walls and front facade should remain the same.
5. The height of the building shall not exceed 12 meters.
6. The renovation of the building from beginning to end shall comply with the official supervision of the World Heritage Building Conservation and Technology Committee.
7. The building design shall be submitted and periodically supervised by a Chartered Architect.
8. All the recommendations of the World Heritage Buildings Subcommittee shall be referred to the World Heritage Committee.

### **8.13.2.2 Conservation guidelines for B Grade buildings**

1. Internal alterations shall not allow.
2. Building facade shall not change.
3. The building shall renovate or altered only using compatible raw materials.
4. The height of the building cannot exceed 12 meters.
5. The damage or distort to the historical or cultural context of the existing building shall not allow.
6. All the development works shall be completely supervised by the Planning Committee.
7. The Approval shall obtain from the World Heritage Committee for all development works.
8. It should be painted to match the cultural heritage.
9. The changing of shape of the floor and the roof shall not allow.
10. It is possible to modify the roofing material appropriately.
11. It is possible to change the ground appropriately.

### **8.13.2.3 Conservation guidelines for C Grade buildings**

- I. If any building has the historical features in the front facade, it shall be protected.
- II. Renovations shall allow.

## **8.13.3 Architectural control and sign board guidelines**

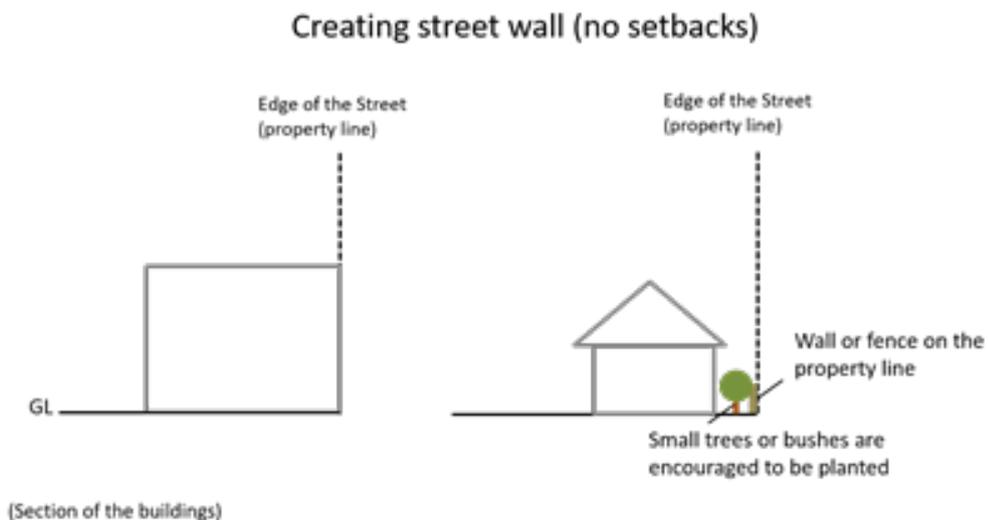
### **8.13.3.1 Principles**

- I. A new building should be harmonious with and contextual to the historic development pattern in the Heritage area zone.
- II. A new building should be subordinate to the historic buildings and shall not stand out by itself in terms of massing, colour, material and height.
- III. Design of the new building shall not directly copy the design (e.g. overall façade design, particular ornamental features) of the “heritage” building.
- IV. As a prestigious stage of Perahara procession, the new building in the Heritage Area Zone shall aim to achieve the higher quality.

### 8.13.3.2 Street wall

- I. New buildings in the Heritage Area Zone shall observe the existing street wall by closely observing the major façade line mainly defined by existing façade line.
- II. Its façade facing to the street should rise at the edge of the property line that differentiates the streets from the private lots along them.
- III. If a new building is used as a non-commercial building (e.g. residential, religious and institutional), it is allowed to have a certain setback to accommodate the small entrance space. However, in this case, it shall have some visually non-obtrusive structure (e.g. low fence, hedges, metal grill fence) to contribute to the continuous street wall.
- IV. In the case where a new building shall have a parking structure, although an applicant is encouraged to waive it by purchasing parking rights on an off-shore site or parking lot, the façade line of the upper floor shall not set back. Otherwise, such buildings with front parking should have some fence or plants to create the continuity. The owner may be able to purchase the required number of parking lots from another land or public parking lot or pay the fee specified in Schedule 2 of this Development Plan to the authority for the required number of vehicles.

Figure 51: Relationship between New Buildings and the Edge of the Street

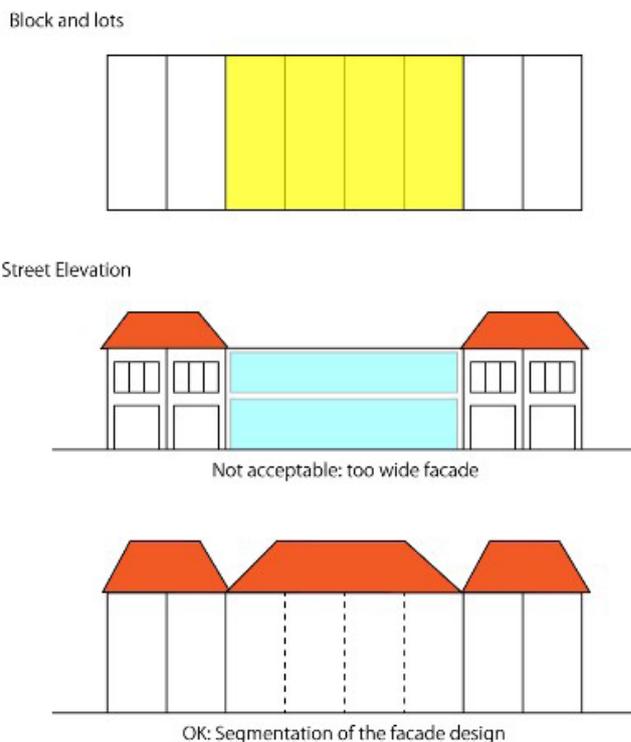


Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

### 8.13.3.3 Building façades

- I. (A) segmentation of the façade design
- II. In case the several plots are to be merged and existing buildings to be replaced by one building, the façade design of such building shall avoid the big flat façade to reflect the existing development pattern of this zone (Figure No 52).
- III. It does not mean that the building is structurally divided into several parts.
- IV. By looking at the adjacent buildings on the same street, the basic unit size need to be examined and incorporated into the design by using vertical elements or break down the mass of the building by recessing and projecting elements to avoid flat monotonous façades.
- V. However, the design or decoration of the adjacent conserved buildings shall not be directly copied.
- VI. In filing the application, the applicant shall show the photos of the adjacent buildings on the street and present the design concept to show how he or she relates the new buildings to the character of the street.

**Figure 52: Diagram of the Not Acceptable and Acceptable Façade Design**

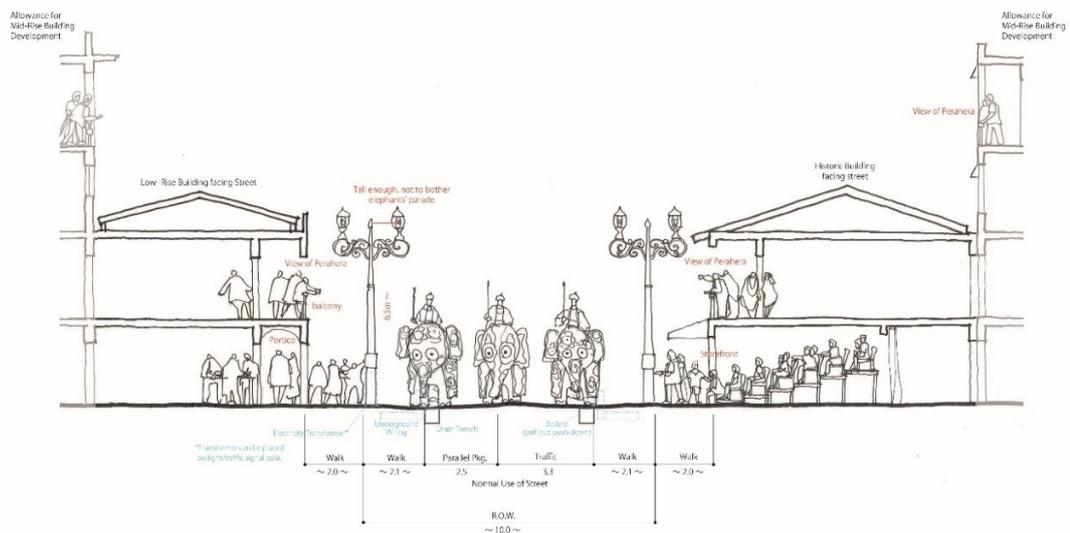


Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

## (B) Opening on the front façade

- I. Observation of the historic building type as well as some newly constructed buildings, the buildings in the Heritage Area Zone tend to have the operable windows, veranda or porches so that the people can enjoy the Perahara procession. Instead of the flat, glass façade, the new building in the Heritage Area Zone shall incorporate such spaces on the upper floors (Figure 53). At the time of Perahara, such space can be converted into the rental view space to the tourists and can generate income, just as the shop owners along the street set up the temporary view stands within the shop buildings.

Figure 53: Section of the Buildings along the Streets in Perahara



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

- I. The upper floor on the new building in the Heritage Area Zone shall incorporate operable windows, veranda or porch space to create the relationship between buildings along the streets and the Perahara procession, which is the major festival in Sri Lanka.
- II. The veranda on the second floor or above shall not stand out too much by using solid materials like concrete or by projecting out too much to the street level. Use of a grill is encouraged for the front portion of the veranda not to stand out from the building design (Figure 54).

**Figure 54: Example of the Grills on the Veranda**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

**(C) Alignment of the Floor height on exterior**

Due to the ground elevation of the Heritage Area zone, the floor height of the old buildings is not exactly aligned, however, historic streetscape tends to show the similar floor height, which creates the horizontal continuity. Particularly on the ground floor opening, its tendency is recognized.

If the concentration of historic building is recognized in the block where a plot of new building is located, particularly look at the floor height of the adjacent buildings and try to align the height of the new buildings with them (Figure 55). They do not have to exactly match the floor height of the historic buildings in the same block, but the design intention to create relationship with the context is required.

**Figure 55: Diagram of the Way to Relate the Floor Height of the New Building to the Continuous Line Consisting of the Historic Buildings on the Same Street**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

### 8.13.3.4 Height Control

- I. According to the zone factors under the zoning regulations of this development plan, the buildable floor area will be determined,
- II. This height control applies to the building height from the ground level to the highest point of the building including the roof.
- III. Height of a new building shall be 12 m or lower at the highest point within the Sacred area zone and the Heritage area zone. 12m is equivalent to the ground floor plus two floors with pitched roof.
- IV. However, if your building unit is part of the old buildings which are not listed conserved building, advised to maintain the same height with the adjacent units. Additionally, if the adjacent buildings retain the original pitched roofs, try to have the pitched roofs to make the entire building look like one.
- V. If the new unit is part of the listed conserved building, shall keep the same height.

#### 8.13.3.4.1 Back addition to the listed conserved building (Also applies to the regulation of the conserved buildings)

In the Heritage Conservation Zone, there are many shop-house buildings with small openings on the street, the depth of the buildings is long. (Figure No 56) In order to preserve a decent portion of the building while allowing some additions, the front portion of the building should be preserved and the rest may be replaced by the additions.

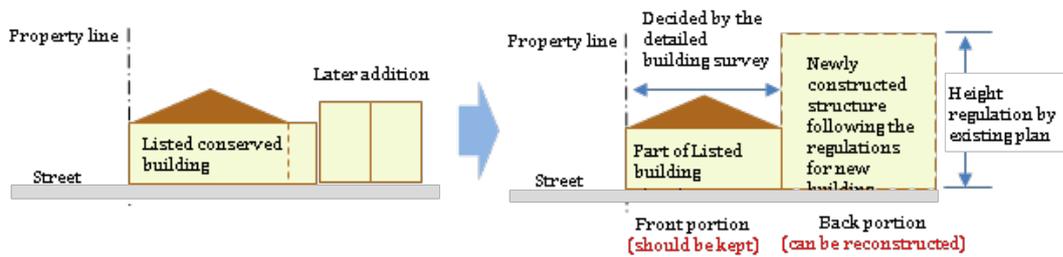
**Figure 56: Typical Shop house and its Side View**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

Accordingly, the addition to the listed conserved buildings should have 10m setback minimum (depending on the shape of the conserved buildings) with maximum 12m height. If the addition is not too visually obtrusive from the street level, such a situation should be acceptable. Due to the narrowness of each unit of the conserved buildings, it is strongly encouraged that the owners of units in one building should work together to have decent sized additions.

**Figure 57: Image of Back Addition to the Listed Conserved Building**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

This solution will alleviate the owners deadlock situation where they cannot add any floors, although it won't maximize their profit due to the necessity of historic preservation which is a public good.

### 8.13.3.5 Colours

Colours of the exterior wall and roofs which define the impression of the overall buildings need to be regulated to improve the streetscape with the concentration of historic buildings allowable colours for such buildings are dim and cream types of colour. The large scale historic buildings white is also a frequently used colour. Therefore, based on the current trend of such buildings, it is proposing that white and warm colours are allowed and within a certain range of colours, the owners have freedom to select the colour, while pursuing the harmony to some extent.

Allowable colours are to be controlled by the Munsell colour theory. three elements, hue, Chroma and value. The Munsell colour theory was invented by Albert Munsell and he has invented the way to quantify and describe how the human beings perceive colour by using three elements, hue, Chroma and value. It is internationally recognized and often adopted by the paint manufacturers. The Munsell colour theory was invented by Albert Munsell and he has invented the way to quantify and describe how the human beings perceive colour by using three elements, hue, Chroma and value. It is internationally recognized and often adopted by the paint manufacturers.

This rule on colour not only applies to the new buildings and non-conserved existing buildings but also to the listed conserved buildings.

### 8.13.3.5.1. Terms of colours

- I. Colours of the new building can be controlled by exterior wall, accent items (e.g. doors and window sills) and roofing materials (e.g. clay tile).
- II. Historically, the colour of the listed conserved buildings tends to be white or warm colours, the new buildings within the zone shall follow the same colour scheme to create a harmonious relationship.
- III. In the same manner, the roofs of historic buildings are usually red or orange clay tiles, and therefore the colour scheme should be the same to be harmonious to the existing context.
- IV. Applicable colour is controlled by three elements: Hue, Chroma and value of the Munsell Colour System. This range of hues is applicable to exterior walls and accent items.

Hue: 10R, 5YR, 10YR, 5Y, 10Y

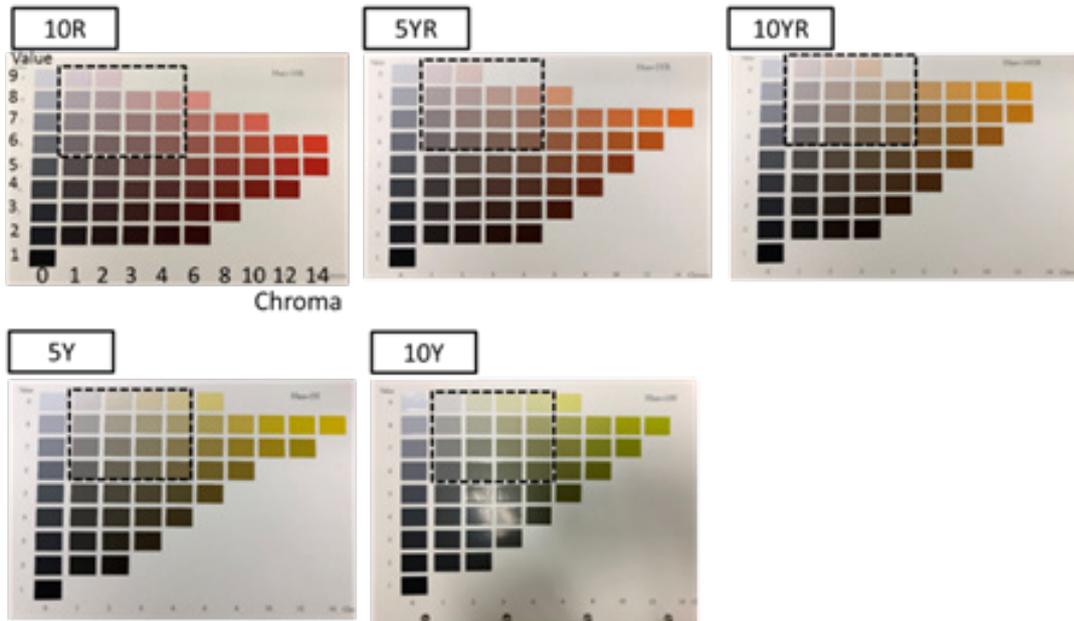
**Figure 58: Allowable hue for both exterior wall and roof**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

- V. The Chroma and value of the exterior wall which mostly contributes to the overall impression of the building shall be as follows,
  - Chroma: 1-4
  - Value: 6 and higher

**Figure 59: Allowable Chroma and Value for Exterior Wall in Each Hue**

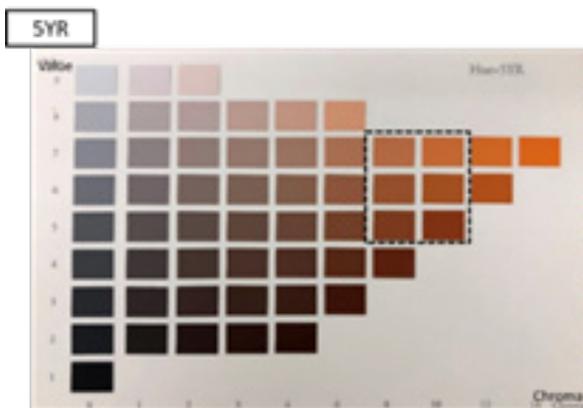


Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

VI The Chroma and value of the roofing materials shall be as follows,

- Hue: 5YR
- Chroma: 8-12
- Value: 5 and 6

**Figure 60: Allowable Chroma and Value for Exterior Wall in Each Hue**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

### 8.13.3.6 Signboard Guideline

Signboard guideline is mandatory for all the buildings within the Sacred area zone and Heritage area zone but can be used as a guide for the buildings in the other zones.

#### 8.13.3.6.1 Definition of Terms

- I. Self- advertising: Advertisement for his or her own business
- II. Generic sign board: sign board which is placed by the sponsor of the products the merchants carry
- III. Directory sign: sign system for the multiple tenants
- IV. Wall sign: signs which are directly attached to the wall
- V. Projecting sign: sign boards that are projecting from the façade
- VI. Window sign: sign which is mounted on backside of the show window
- VII. Awning sign: sign which is written on the awning

#### 8.13.3.6.2 Sign board guideline

There are basically three different signboard guidelines per building type.

##### (1) Sign Guidelines for small-scale historic buildings (Figure 59)

This guideline applies to the types of the buildings which have smaller openings (usually 3-6 metre in width) on the street. Typical examples are the ones on the Colombo Street.

**Table 41: Regulations affecting the sign boards of small-scale historic buildings**

Wall sign	<ol style="list-style-type: none"> <li>I. One wall sign (primary sign) for each storefront or building façade is permitted.</li> <li>II. The design of the primary sign shall respect overall design of the façade and streetscape.</li> <li>III. The location of primary sign shall be cantered above the storefront and below the second floor windows. Wall sign shall not cover the historic character (decorative features such as columns, pediment, balustrades, medallions) of the building.</li> <li>IV. One wall sign shall not exceed five square metres.</li> <li>V. The height of a wall sign shall not exceed one metre.</li> </ol>
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	<p>VI. Total area of wall sign(s) per building shall not exceed 25% of the façade area.</p> <p>VII. No generic sign such as a product name is permitted.</p> <p>VIII. When necessary, use exterior lighting fixtures for a wall sign. In-Box type light fixture is not permitted. Individually mounted letters that contain lamp in each character is permitted.</p>
Rooftop signs or signs on the higher floor	No rooftop sign or wall sign on the third or higher floor is permitted.
Projecting sign	<p>I. One projecting sign for one storefront business is permitted.</p> <p>II. One projecting sign shall be no larger than 90 cm width, 60 cm height and 10 cm thickness.</p> <p>III. The bottom of projecting signs shall be located at least 2.5 m above the sidewalk and rigidly supported.</p> <p>IV. Creative signs that shows high level of craftsmanship and symbolize the business are encouraged for this type.</p>
Awning Sign	<p>I. One sign per one awning is permitted.</p> <p>II. The Conditions for wall sign is applied.</p>

**Figure 61: Illustrative Guidelines for the Small Scale Historic Buildings**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

**(2). Sign Guidelines for large-scale historic buildings.**

This applies to the large scale historic buildings, in terms of the width and height of the buildings. Typical examples are the Royal Bar and Hotel on Raja Veediya, Cargills Building and Bank of Ceylon Building on Dalanda Veediya.

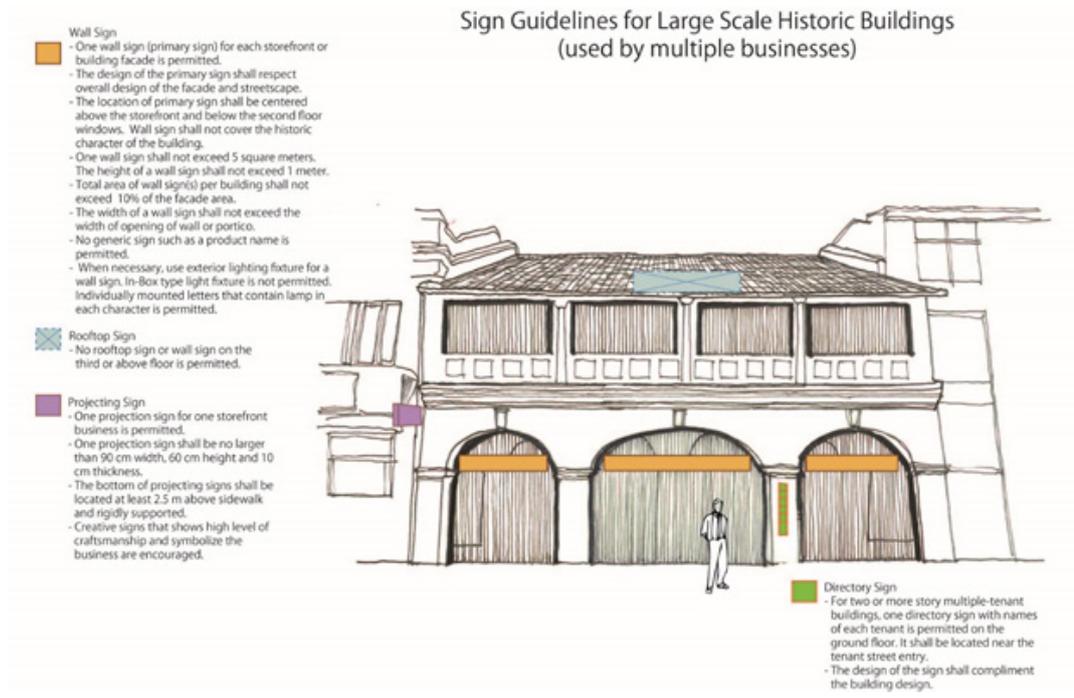
**Table 42: Regulations affecting the sign boards of large-scale historic buildings**

Wall Sign	<ol style="list-style-type: none"> <li>I. One wall sign (primary sign) for each storefront or building façade is permitted.</li> <li>II. The design of the primary sign shall respect overall design of the façade and streetscape.</li> <li>III. The location of primary sign shall be centred above the storefront and below the second floor windows. Wall sign shall not cover the historic character of the building.</li> <li>IV. One wall sign shall not exceed five square metres. The height of a wall sign shall not exceed 1 metre.</li> <li>V. Total area of wall sign(s) per building shall not exceed 10% of the façade area.</li> <li>VI. The width of a wall sign shall not exceed the width of opening of wall or portico.</li> </ol>
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	<p>VII. No generic sign such as a product name is permitted.</p> <p>VIII. When necessary, use an exterior lighting fixture for a wall sign. In-Box type light fixture is not permitted. Individually mounted letters that contain a lamp in each character is permitted.</p>
Projecting sign	<p>I. One projecting sign for one storefront business is permitted.</p> <p>II. One projecting sign shall be no larger than 90 cm width, 60 cm height and 10 cm thickness.</p> <p>III. The bottom of projecting signs shall be located at least 2.5 m above the sidewalk and rigidly supported.</p> <p>IV. Creative signs that shows high level of craftsmanship and symbolize the business are encouraged for this type.</p>
Rooftop signs or signs on the higher floor	No rooftop sign or wall sign on the third or higher floor is permitted.

- ◆ In the case of several tenants in a building, a directory sign of an open arch may be permitted and the full width of the arch may not be covered by the notice.
- ◆ No advertising on first floor or top floor is permitted. The same applies to wall name boards, roof directories, and expansive name boards.
- ◆ A major difference between type A and B is the “Directory Sign” and the location of the wall signs on the ground floor. If there signs to be placed within the arch openings, each of the signs, should not exceed the width of the arch. To avoid signs on the first floor or above in the case where tenants do their business on the upper floors. Therefore, the “wall sign”, “rooftop sign” and “projecting sign” rules also apply.

**Figure 62: Illustrative Guidelines for the Large Scale Historic Buildings**



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

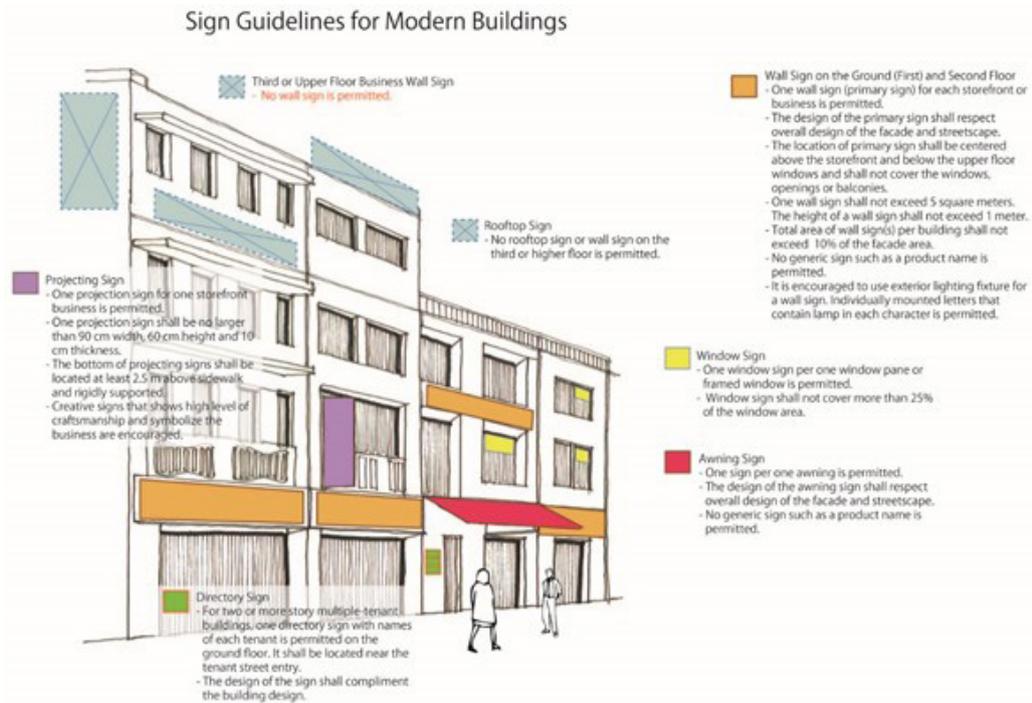
(3). Sign board regulations for non-World Heritage Buildings

**Table 43: Regulations affecting the sign boards of non-World Heritage Buildings**

Wall Sign	<ol style="list-style-type: none"> <li>I. Wall Sign on the Ground (First) and Second Floor is permitted</li> <li>II. One wall sign (primary sign) for each storefront or business is permitted.</li> <li>III. The design of the primary sign shall respect overall design of the façade and streetscape.</li> <li>IV. The location of primary sign shall be centred above the storefront and below the upper floor windows and shall not cover the windows, openings or balconies.</li> <li>V. One wall sign shall not exceed five square metres. The height of a wall sign shall not exceed one metre.</li> <li>VI. Total area of wall sign(s) per building shall not exceed 10% of the façade area.</li> <li>VII. No generic sign such as a product name is permitted.</li> </ol>
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	VIII. It is encouraged to use an exterior lighting fixture for a wall sign. Individually mounted letters that contain a lamp in each character is permitted.
Roof top Sign	No rooftop sign or wall sign on the third or higher floor is not permitted.
Projecting Sign	<p>I. One projection sign for one storefront business is permitted.</p> <p>II. One projection sign shall be no larger than 90 cm width, 60 cm height and 10 cm thickness.</p> <p>III. The bottom of projecting signs shall be located at least 2.5 m above the sidewalk and rigidly supported.</p> <p>IV. Creative signs that shows high level of craftsmanship and symbolize the business are encouraged.</p>
Window Sign	<p>One window signs per one window pane or framed window is permitted.</p> <p>Window sign shall not cover more than 25% of the window area.</p>
Awning Sign	<p>I. One sign per one awning is permitted.</p> <p>II. The design of the awning sign shall compliment overall design of the façade and streetscape.</p> <p>III. No generic sign such as a product name is permitted.</p>

Figure 63: Illustrative Guidelines for the Non-Historic (Modern) Building



Source: Greater Kandy Urban Plan, JICA-UDA Team, 2018

### 8.13.3.6.3 Sign Text & Colour

- I. Signage design should be creative; consider using images and graphics to promote business and the merchandise or service provided.
- II. Sign messages should be short with simple typography so that people can read easily.
- III. Minimized wording and the use of some symbols to achieve the clear message.
- IV. Sign colours should be simple (for instance, a range of three colours) and appropriate with the building colour scheme and the neighbouring buildings. Too many colours may not be visually attractive.
- V. Sign legibility is enhanced by contrast between letters and background and the amount of open space around the text.



# Chapter **09**

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**Proposed road  
widths, Building  
Lines and  
Reservations**



## Chapter 09

## Proposed road widths, Building Lines and Reservations

Proposed road widths

## 9.1 Proposed road widths

The proposed road widths have been provided for road development identified on the priority basis in the development of the road network of the Kandy MC area development plan and the building lines have been introduced for other roads. Canal Reservation Areas for Canals, Streams, Rivers, and Tanks have been declared by the Sri Lanka Land Development Corporation under the Gazette Notification No. 1662/17 of 14.07.2010.

Table 44: Proposed Road Widths

No	Road Name	Proposed road width (m)	Building line (from the center line of the road) (m)
1	William Gopallawa Mawatha	30	16
2	Katugasthota Road	30	16
3	Anagarika Dharmapala Mawatha	30	16
4	Hewaheta Road (Kandy - Mahiyangana-Padiyathalawa Road)	30	16
5	Katugasthota - Matale Road	30	16
6	Katugasthota - Kurunegala Road	30	16
7	Sirimavo Bandaranaike Mawatha	30	16
8	Thalathuoya Road	30	16
9	Medawala Road	30	16
10	Madawala Road	30	16
11	Asgiriya by road	30	16
12	Mosque Road	30	16
13	Dharmashoka Mawatha	30	16
14	Crematorium Road	30	16
15	Manikkumbura Road	30	16
16	Colombo Street	24	13
17	Kande Veediya	24	13

18	Wadugodapitiya Veediya	24	13
19	Louis Pieris Mawatha	24	13
20	Colombo Street Lane	24	13
21	Kuda Rathwaththe Road	24	13
22	Deweni Rajasingharama Mawatha	24	13
23	Yatinuwara Street	24	13
24	Lewalla Rad	24	13
25	Mavilmada Road	24	13
26	S.W.R.D. Bandaranayake Mawatha	24	13
27	Lamagara Mawatha	22	12
28	Kumara Street	20	11
29	Cross Street	20	11
30	Raja Veediya	20	11
31	Temple Street	20	11
32	Dewa Veediya	20	11
33	E.L. Senanayake Veediya (Kotugodella Street)	20	11
34	Ehelepola Kumarihami Mawatha	20	11
35	Sri Wickrama Rajasinghe Mawatha	20	11
36	Thapovana Mawatha	20	11
37	Dharmaraja Mawatha	20	11
38	Vidyartha Road	20	11
39	Temple Road (Sumangala Mawatha)	20	11
40	Pushpadana Mawatha	20	11
41	George E. de Silva Mawatha	20	11
42	Amarawansa Mawatha	20	11
43	Aniwatta Road	20	11
44	Nittawala Road	20	11
45	Aruppala Estate Road	20	11
46	Dutugemunu Mawatha	20	11
47	Sangharaja Mawatha	20	11
48	D.S. Senanayake Street	20	11
49	Dangolla Road	20	11
50	Nagahella Road	20	11
51	A. A. Dharmasena Mawatha	20	11

52	Weera Madduma Bandara Mawatha	20	11
53	Aluthganthota Road	20	11
54	Mawilmada Old Gangtota Road (Devi Road)	20	11
55	Siddhi Lebbe Mawatha	20	11
56	George E. de Silva Mawatha	20	11
57	Deyyannewela road	16	9
58	Galkanda Riverdale Road	16	9
59	Bowala Road	16	9
60	Mahamaya Mawatha	16	9
61	Rajapihilla Mawatha	16	9
62	Lady Gordon Road	16	9
63	Kirthi Sri Rajasinghe Mawatha	16	9
64	Saranankara Mawatha	16	9
65	Hill wood Road	16	9
66	Asgiriya Maha Vihara Road	16	9
67	Jay Mawatha	16	9
68	Meda Bowala Road	16	9
69	Bodhiyangana Road	16	9
70	Siyambalagasthenna Road	16	9
71	Heerassagala Road	16	9
72	Court Road	16	9
73	Rajapihilla Terrace	16	9
74	Kalugala Road	16	9
75	Riverdale Road	16	9
76	College Road (Mawilmada)	16	9
77	Chandra Maha Ulpotha Mawatha	16	9
78	Old Topaz Road	16	9
79	Pitakanda Road	16	9
80	Suduhumpola Road	16	9
81	Lighthouse Piachaud Road	16	9
82	Mulgampala Road	16	9
83	Bodhiyangana Mawatha	16	9
84	Inigala Road	16	9
85	Aruppala Mawatha 5	16	9

86	Bhairawakanda Road	15	8.5
87	Vattaranthenna Road	15	8.5
88	Aluvihara Mawatha Road	12	7
89	Wela Kanda Road	12	7
90	Sangamiththa Mawatha	12	7
91	Upland Road	12	7
92	Galkanda Road	12	7
93	Bomaluwa Road	12	7
94	Piachaud Gardens (Roundabout) Road	12	7
95	Barnabas Road	12	7
96	Aruppala Mawatha 1	12	7
97	Aruppala Mawatha 2	12	7
98	Aruppala Mawatha 3	12	7
99	Aruppala Mawatha 4	12	7
100	Dammadhassi Mawatha	12	7
101	Bodiyangana by road	12	7
102	Sangaraja Circular Road	12	7
103	Pullayar Temple Road	12	7
104	Nuwarawela Road	12	7
105	Hilpan Kadura Road	12	7
106	Farm hill Road	12	7
107	Samagi Mawatha	12	7
108	Katukelle Lake Road	12	7
109	Nuwarawela Cross Road	12	7
110	Wakarawatta Road	12	7
111	Odeon Road	12	7
112	Don Bosco Road	12	7
113	Niwaasa Road	12	7
114	Gamini Dissanayake Mawatha	12	7
115	Dhammasidhdhi Road	12	7
116	Ramanayake Mawatha	12	7
117	Mapanawathura Circular Road	12	7
118	Sri Sumangala Mawatha	12	7
119	Bodhirukkarama Road	12	7

120	Galkanda Lane	12	7
121	Dodanwala Passage	12	7
122	Mahayawa Lane VI	12	7
123	Asokarama Road	12	7
124	Dharmapala Mawatha Lane	12	7
125	Damunupola Road	12	7
126	Aniwatta Circular Road	12	7
127	Damunupola Road Place	12	7
128	Aniwatta Circular Road	12	7
129	Aniwatta Circular Road 1	12	7
130	Wijenayake Estate Road	12	7
131	Bhirawakanda Kiri hala Road	12	7
132	Bhairawakanda Church Road	12	7
133	Aniwatta Watarantenna Road	12	7
134	St. Mary's Road	12	7
135	Mapanawathura Road	12	7
136	Purnawatta roundabout road	12	7
137	Kokowaththa Road	12	7
138	M.B Dodanwala Road	12	7
139	M.B Dodanwala Lane I	12	7
140	M.B Dodanwala Lane II	12	7
141	Dodangwala Preschool Road	12	7
142	Purnawatta Garment Road	12	7
143	Purnawatta Garment by road	12	7
144	Samagi Mawatha	12	7
145	Denzil Kobbekaduwa Lane	12	7
146	Denzil Kobbekaduwa Lane I	12	7
147	Denzil Kobbekaduwa Lane II	12	7
148	Nittawela Lane Road	12	7
149	Nittawela Lane Road II	12	7
150	Nittawela Lane Road III	12	7
151	Gosmee Garden Road	12	7
152	Samadhi Mawatha	12	7
153	Araliya Mawatha by road	12	7

154	Sri Sugathawimala Mawatha	12	7
155	Sri Sugathawimala Mawatha by road	12	7
156	Wimaladharma Mawatha	12	7
157	Jumma Masjid Road	12	7
158	Rukmal Mawatha	12	7
159	Cemetery Mawatha	12	7
160	Sambodhi Mawatha	12	7
161	Mulagampala Circular Road	12	7
162	Mulgampala Pahalawatte Road	12	7
163	Sumithrayo by road	12	7
164	Primrose Road	12	7
165	Siebel Circular Road Lane 1	12	7
166	Siebel Circular Road Lane 2	12	7
167	Siebel Circular Road Lane 3	12	7
168	Amaya Garden Road	12	7
169	Park Road	12	7
170	Jumma Masjid Mosque Road	12	7
171	Wimalasena Mawatha	12	7
172	William Gopallawa by-road	12	7
173	Mada Bowala Cross Road	12	7
174	Kadigamuwa Road	12	7
175	Kadigamuwa footpath	12	7
176	Millamaditta road	12	7
177	Siriwalgoda Watta Road	12	7
178	Kingrose Road	12	7
179	Katugastota Railway Station Road	12	7
180	Wellamulla by road 2	12	7
181	Kudarathwatte footpath	12	7
182	Kudarathwatte footpath 1	12	7
183	Walawatta Road	12	7
184	Walawatta Lane	12	7
185	Peace road	12	7
186	Sri Sumanaviwekarama Road	12	7
187	Sri Sumanaviwekarama Road Lane	12	7

188	Church Road	12	7
189	Punchi Bomalu Road	12	7
190	Jaya Mawatha (Aruppola)	12	7
191	Aruppala Estate Road	12	7
192	Alwis Avenue	12	7
193	Major Saman Kumara Ranaweera Mawatha	12	7
194	Wimal Ratnasiri Bandara Mawatha	12	7
195	Dewala Estate Road	12	7
196	Devalawatta Road Lane	12	7
197	Bodhi Vihara Road	12	7
198	G D B E Silva Mawatha	12	7
199	Wela Kanda Lane	12	7
200	River Valley Garden Road	12	7
201	River Valley Garden Road Lane 2	12	7
202	Kosgahamula road	12	7
203	Dharmapala Mawatha	10	6
204	Mahayyawa Devala Road	10	6
205	Mahaiyawa Kovil Road Lane I	10	6
206	Mahaiyawa Kovil Road Lane II	10	6
207	Mahaiyawa Lane III	10	6
208	Mahavia Lane IV	10	6
209	Mahayawa Lane V	10	6
210	Canyon Mountain Road	10	6
211	Mahavia Lane VII	10	6
212	Uyanwaththa Road stairway	9	5.5
213	St. Mary's Road Interstate	9	5.5
214	Bhairawakanda Footpath	8	5
215	Mapanawathura footpath	8	5
216	Velamada Road	8	5
217	Zoysa Lane	7	4.5
218	Cyril Jayasundara Road	7	4.5
219	Ganihiriya Road	7	4.5
220	Fed E de Silva Mawatha	7	4.5
221	Kale Road	7	4.5

222	Subhadrarama Road	7	4.5
223	Bhairawakanda Statue Road	7	4.5
224	Kapruka Road	7	4.5
225	Magistrate's Quarters Road	7	4.5
226	Damunupola Topaz by Road	7	4.5
227	Veediye Bandara Lane Road	7	4.5
228	Rosemond Road	7	4.5
229	Pitakanda Lane	7	4.5
230	Pitakanda Road Lane 3	7	4.5
231	Rosemond by-road	7	4.5
232	Kudarthawatte narrow road	7	4.5
233	Nittawela Temple Road	7	4.5
234	Nelum Pokuna footpath	7	4.5
235	Kadusewana Mawatha	7	4.5
236	Sri Sudharshanarama Mawatha	7	4.5
237	Nalanda Place footpath	7	4.5
238	Mulgampala Temple Road	7	4.5
239	Revis Garden Road	7	4.5
240	Gal Kotuwa Temple Road	7	4.5
241	Elagolla Road	7	4.5
242	Rosawatta Road	7	4.5
243	Heerassagala Lane 1	7	4.5
244	Heerassagala Lane 2	7	4.5
245	Heerassagala Lane 3	7	4.5
246	Siyambalapitiya Road	7	4.5
247	Thalauyanwatta Lane	7	4.5
248	Primrose stairs to footsteps	7	4.5
249	Bogodawatta Road	7	4.5
250	Bogodawatta Road 2	7	4.5
251	Panaroma Avenue	7	4.5
252	Bathalawatta Road	7	4.5
253	Ferry road	7	4.5
254	Bodiyangana by road	7	4.5
255	Udalke Road	7	4.5

256	Kumudu road (Dangolla)	7	4.5
257	Upul Mawatha	7	4.5
258	Upul Mawatha by road	7	4.5
259	Saman Mawatha	7	4.5
260	Nalanda Place	7	4.5
261	Park Road	7	4.5
262	Thakshila Mawatha	7	4.5
263	Rajasingharama Road Lane 1	7	4.5
264	Rajasingharama Road	7	4.5
265	Polwatta Road	7	4.5
266	Siyambalagasthenna Lane 1	7	4.5
267	Siyambalagasthenna Lane 2	7	4.5
268	Kahalla Katugastota Road	7	4.5
269	Kalugala Road	7	4.5
270	Wasana Mawatha.	7	4.5
271	Yamuna Mawatha	7	4.5
272	Jethavanarama Road	7	4.5
273	Galawatta Road	7	4.5
274	Galawatte Circular Road	7	4.5
275	Kahalla Galawatta Road	7	4.5
276	Vision Road (Peradeniya road)	7	4.5
277	Mabel Cooray Avenue	7	4.5
278	Pitakanda Lane 1	7	4.5
279	Pitakanda Lane 3	7	4.5
280	Denzil Kobbekaduwa Lane	7	4.5
281	C.D.L. Fernando Mawatha	7	4.5
282	C.D.L. Fernando Mawatha Lane	7	4.5
283	Aruppala Lane 2	7	4.5
284	Aruppala Lane 2 foot path	7	4.5
285	Uyanwatta Road	7	4.5
286	Aruppala Lane 1	7	4.5
287	Gemunu Mawatha	7	4.5
288	Vijaya Mawatha	7	4.5
289	Aruppala Mawatha 3 Narrow road	7	4.5

290	Shramadana Mawatha	7	4.5
291	Shramadana Mawatha narrow road	7	4.5
292	Lady Torrington Road	7	4.5
293	Upland By Road (Water Tank Road)	7	4.5
294	Uplands Lane	7	4.5
295	Pitiyegedara road	7	4.5
296	Pitiyegedara road (foot path)	7	4.5
297	Ranawiru Samarasiri Rajapakse Mawatha	7	4.5
298	Ananda Tissa Mawatha, Dunukwela	7	4.5
299	Baduwatta by road	7	4.5
300	Gal linda Watta Road	7	4.5
301	Aruppala Lane 3	7	4.5
302	Aruppala Mawatha 3 by road	7	4.5
303	Aruppala Mawatha 5 by road	7	4.5
304	Aruppala Housing Scheme Road	7	4.5
305	Aruppala Watagoda Temple Road	7	4.5
306	Sangamitta Street Road	7	4.5
307	Kulupana Mawatha	7	4.5
308	Kumudu road(Watapuluwa)	7	4.5
309	Wagolla Road	7	4.5
310	Maithree Mawatha(Watapuluwa)	7	4.5
311	Mangala Mawatha	7	4.5
312	Prithi Road	7	4.5
313	Prasanna Mawatha	7	4.5
314	Dumidu Mawatha	7	4.5
315	Mahaweli Uyana Road	7	4.5
316	Ganthera Road	7	4.5
317	Deepthi Mawatha	7	4.5
318	Samanala Mawatha	7	4.5
319	Watagoda Kamate Estate Road	7	4.5
320	Godamaditta Road	7	4.5
321	Godamaditta by road	7	4.5
322	Water front(Thilak Jayasundara road) Road	7	4.5
323	P.L.A Alwis Mawatha	7	4.5

324	K.D. Hettiarachchi road	7	4.5
325	Seetha Rice Mill Roundabout Road	7	4.5
326	Ranaviru Chandana Kumara Gamage Mawatha (KII Road)	7	4.5
327	Caps. Vipula Seneviratne Mawatha	7	4.5
328	Bodhiraja Mawatha	7	4.5
329	J Kulupana Mawatha	7	4.5
330	Ambala Rajamaha Vihara Road	7	4.5
331	Ambala Rajamaha Vihara Road 1	7	4.5
332	Ambala Rajamaha Vihara Road 2	7	4.5
333	Bangalawatta Road	7	4.5
334	Bangalawatta by road	7	4.5
335	Bangalawatta by road 1	7	4.5
336	Bangalawatta Alternate Road	7	4.5
337	Nidahas Mw	7	4.5
338	Nidahas Mw lane 01	7	4.5
339	Nidahas Mw lane 02	7	4.5
340	Nidahas Mw lane 03	7	4.5
341	Athubasnahela stair way	7	4.5
342	Athubasnahela by road	7	4.5
343	Gangarama Temple Road	7	4.5
344	Appallagoda Road	7	4.5
345	Galagedara Lane 1	7	4.5
346	Galagedara Lane 2	7	4.5
347	Galagedara Lane 2 by road	7	4.5
348	Galagedara Lane 2 by road 3	7	4.5
349	Galagedara by road	7	4.5
350	Dharmasoka Mawatha Lane 1	7	4.5
351	Dharmashoka Mawatha Lane 2	7	4.5
352	Dharmashoka Mawatha Lane 3	7	4.5
353	Dharmashoka Mawatha Lane 4	7	4.5
354	Dharmashoka Mawatha Lane 5	7	4.5
355	Dharmashoka Mawatha Lane 3 footpath	7	4.5
356	Wagolla footsteps	7	4.5
357	Lumbini Mawatha.	7	4.5

358	Suduhumpola Vihara Mawatha	7	4.5
359	Bathalawatta footpath	7	4.5
360	Galkotuwa by road	7	4.5
361	Footsteps	7	4.5
362	Footsteps 1	7	4.5
363	Footsteps 2	7	4.5
364	Lumbini Avenue	7	4.5
365	Baduwatta Road	7	4.5
366	Wagolla Estate Road	7	4.5
367	Talwatta Lane footpath	7	4.5
368	Rosawatte Lane 1	7	4.5
369	Kithsiri Mawatha	7	4.5
370	King Street cross road	7	4.5
371	Alwis Estate Road	7	4.5
372	Wela Kanda Voucher Estate Footpath I	7	4.5
373	Wela Kanda Voucher Estate Footpath II	7	4.5
374	Wela Kanda Voucher Estate Footpath III	7	4.5
375	Wela Kanda Voucher Estate Footpath IV	7	4.5
376	Bathalawatta by road	7	4.5
377	Godiyanwela road	7	4.5
378	Elagolla by road	7	4.5
379	Rahula College footsteps	7	4.5

(a). A green belt should be maintained at 01 m from the proposed street line.

Chapter 09  
**Proposed  
road widths,  
Building  
Lines and  
Reservations**

## 9.2 Railway Reservations

The existing railway reservations and reservations of proposed railway lines by this plan will be determined on the recommendation of the Railway Department.

Railway  
Reservations

Reservations for  
Water Bodies

## 9.3 Reservations for Water Bodies

### 9.3.1 Reservations/Buildings Lines for Canals/Streams, Tanks, Rivers and Reservoirs

Canal reservations/building lines should be maintained at both directions from the boundary of the canal as shown in the table number 45 and 46 in accordance with the surface width of all-natural main canals, all sub canals and all catchment canals designed for drainage or drainage of the area.

**Table 45: Reservations for Water Bodies**

No	Name of the water body Category 01	Reserve to be maintained from the centre line of the tide level of the water body(meters)
01.	Meda Ela-From the starting point to the Heerassagala junction	3.0
	From Heerassagala Junction to the End	6.0
02.	Dunumadalawa Canal	3.0
03.	Deniya Canal	3.5
04.	Haley Canal	5.0
05.	Hal Oya	5.5
06.	Dange Canal	4.0
07.	Siyambalange paddy canal	4.0
08.	Allawala dola	4.0
09.	All other waterways	3.0

**Table 46: Reservations for Water Bodies**

No	Name of the water body Category 02	Reserve to be held from the ground boundary of the waterway nearest to the proposed development (meters)
01.	Mahaweli River	20
02.	Pusila Oya	20
03.	Pinga Oya	20

- I. The reserves declared by the Irrigation Department, Central Environment Authority, Mahaweli Authority, Agrarian Services Department and Local Government Institutions in respect of the above reserves shall be placed in the reserve of the said reserves in excess of the reserves stated in this statement.
- II. In case of a reserve for water drains less than 1 meter in addition to the above reserves, 0.5 meter reservations/ building lines should be placed at the boundary of the drainage.

### **9.3.2 Terms and Conditions for Canal Reservations**

- I. No buildings or structures shall be constructed and/or reclaimed in the canal reserve area declared as a canal reserve without the written consent of the Chief Executive Officer of Sri Lanka Land Reclamation and Development Corporation.
- II. Any stream within these declarations shall not be disposed of any sewage waste / industrial waste or any pollutant without the approval of the land reclamation and development Corporation.
- III. The canal reserve can only be used as an access road when there is no alternate route, but it should not be paved, concrete, or any other layer of stone.
- IV. In the case of a canal reserve, leasing of commercial property for any other purpose shall not be levied by any person, association, institution or local authority.
- V. Land parcels should not be used for parking, garage use in areas declared as canal reserves.

# Part III



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**Annexure 3: Sri Dalanda Maligawa Sacred Area Gazette**



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ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ ගැසට් පත්‍රයෙහි සෑම කොටසකම දළ පිටුවකින් සෑම මාසයකම දුල් සතියේ දී පමණක් කරනු ලබන ගැසට් නිවේදන මාර්ගගතව අවසන් දිනය සහ වේලාව සඳහන් නිවේදනය කෙරෙහි විශේෂ අවධානයෙන් යොමු කරනු ලැබේ.

ගැසට් පත්‍රයේ සෑම කොටසකම පළකිරීම සඳහා ගැසට් නිවේදන භාරගන්නා වේලාව, ගැසට් පත්‍රය ප්‍රසිද්ධ කරනු ලබන සිකුරාදා දිනට පස් දවසකට පෙර එළඹෙන සිකුරාදා දිනයෙහි දැනට 120 අවසන් කරනු ලැබේ. කනුදා-ලැබුණු, වෙන්වීම් දැන්වීම්, වෙන්වීම් පිළිබඳ දැන්වීම් සහ වෙනත් සඳහන් කරනු ලබන අවසාන දිනය සහ වේලාවන් 30 අවුරුදු පමණක් දැන්වීම්, රජයේ පුද්ගලයන් වර්ග සහ එම දැන්වීම් පළකරන දින අතර ඇතුළත් කාලසීමාවක් ලෙසින් එම දැන්වීම්වල සඳහන් කරුණු කෙරෙහි උනන්දුවක් දැක්වීම සඳහා විශේෂයෙන්ම ප්‍රකාශනයක් වන පරිදි 30 සහතිකවලට අවි ප්‍රස්ථාර ඇතුළත් කර සහතික කරන ලදී. පිටුවේ දෙපාර්තමේන්තු, සේවා විකේත සහ අනෙකුත් විස්තර දැක්වීම සිදු විය යුතුය.

ගැසට් පත්‍රයේ පළකිරීම පිණිස වර්තමාන ගැසට් දැන්වීම්වල ගැසට් පත්‍රය ප්‍රසිද්ධ කරනු ලබන දිනට පස් දවසකට පෙර - එනම්, 1984 ජූනි 01 දිනට පෙර කෙරෙන ගැසට් පත්‍රයේ සෑම දැන්වීමක් 1984 ජූනි 01 දින දැනට 120 පස් වට පෙර රජයේ පුද්ගලයන් ලෙසින් සිටිය යුතුය.

කෙටිල් කනාස්කාර,  
ආණ්ඩුවේ මුද්‍රණාලයාධිපති.





# ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ ගැසට් පත්‍රය

## අති විශේෂ

අංක 1209/19 - 2001 නොවැම්බර් 08 වැනි බ්‍රහස්පතින්දා - 2001.11.08

(ආණ්ඩුවේ බලයට ප්‍රසිද්ධ කරන ලදී)

### I වැනි කොටස : (I) වැනි සේදය - සාමාන්‍ය

#### ආණ්ඩුවේ නිවේදන

දැන මාලිගාව ආශ්‍රිත මහනුවර ආගමික ප්‍රදේශ සැලසුම් යෝජනා ක්‍රමය සම්බන්ධව 1978 අංක 41 දරන නාගරික සංවර්ධන අධිකාරිය පනත යටතේ පනවනු ලබන රෙගුලාසි

මහනුවර මහ නගර සභා බල ප්‍රදේශයට අයත් මෙහි පහත 1 වන උපලේඛනයේ දැක්වෙන බලප්‍රදේශ 1978 අංක 41 දරන නාගරික සංවර්ධන අධිකාරිය පනතේ 3 වන වගන්තිය යටතේ "නාගරික සංවර්ධන ප්‍රදේශයක්" ලෙස 19790307 දිනැති අංක 26/8 දරන අති විශේෂ ඇංග්ලි පත්‍රය මගින් ප්‍රකාශයට පත් කර ඇති අතර, එම ප්‍රදේශය ආවරණය වන ඒකාබද්ධ නාගරික සංවර්ධන සැලැස්ම නාගරික සංවර්ධන අධිකාරිය විසින් දැනට පිළියෙල කරමින් පවතී. එම ඒකාබද්ධ නාගරික සංවර්ධන සැලැස්මේ හඳුනාගත්, මෙහි පහත 2 වන උපලේඛනයේ දැක්වෙන මායිම් තුළ පිහිටි "දෙදා මාලිගාව ඇතුළු අවට බල ප්‍රදේශය ආගමික කටයුතු සඳහා වූ, සංරක්ෂණය කළ යුතු කලාපයක්" ලෙස හඳුනා ගෙන ඇති අතර, එම කලාපයට අදාළ ප්‍රදේශය තුළ ක්‍රියාත්මක කිරීමට අයත්වන සංවර්ධන රෙගුලාසි 1984.06.08 දිනැති අංක 301 දරන ඇංග්ලි පත්‍රය මගින් මහජනායෝග්‍ය දැනගැනීමට සලස්වා තිබේ.

දැනට පිළියෙල වෙමින් පවතින ඒකාබද්ධ නාගරික සැලැස්ම විසින් ඉහත විස්තර කර පහත 2 වන උපලේඛනයේ දැක්වෙන ආගමික කටයුතු සඳහා වූ කලාපයට අමතරව ඊට යාබදව පිහිටි මෙහි පහත 3 වන උපලේඛනයේ දැක්වෙන ප්‍රදේශයද ආගමික කටයුතු සඳහා සංරක්ෂණය කළ යුතු කලාපයක් ලෙස හඳුනා ගෙන ඇති අතර, එම කලාපය තුළ ඉහත සිටි 1984.06.08 දිනැති අංක 301 දරන ඇංග්ලි පත්‍රයේ සඳහන් රෙගුලාසිවලට අයිතිව පනත සඳහන් රෙගුලාසිද බලපැවැත්වෙන පරිදි මහජනායෝග්‍ය දැනගැනීමට සලස්වනු ලැබේ.

- \* දෙදා මාලිගාව හා දේපළ සම්බන්ධව කටයුතු පවත්වා ගෙන යාමේ කාර්යයට අනුකූල වන්නා වූ සහ එම කාර්යයන්ට ගැලපෙන්නා වූ වාණිජමය කාර්යයන් සඳහා පමණක් මෙම ප්‍රදේශයේ අවසර දෙනු ලැබේ. එක් වාණිජමය කාර්යයක් වන්නේ, රුධිරාශ්‍රිත කර ගැනීමේ ස්ථාන, බැංකු ශාඛා සඳහා වූ නැවතීමේ පහසුකම්, වැසිකිලි පහසුකම් සඳහා වූ ස්ථාන, පළතුරු, රසකැවිලි හා පුජා භාණ්ඩ වෙළඳාම, ආපනශාලා, සිසිල් පැන් ශාලා, සමරු භාණ්ඩ වෙළඳාම, කුඩා පරිමාණයේ බැංකු සහ සන්නිවේදන පහසුකම් සහිත ස්ථාන අදීය.
- \* සියලුම ගොඩනැගිලිවල නවීකරණ හා අලුත්වැඩියා කටයුතු එම ප්‍රදේශයට අනුකූල වූ නොසිතා ගුණාංග ද, වාස්තු විද්‍යාත්මක ස්වභාවයට අනුකූල විය යුතු අතර, සියලුම නවීකරණ හා අලුත්වැඩියා කටයුතු සඳහා නාගරික සංවර්ධන අධිකාරියේ සහායනිකූලතාවය අවසරය ලබාගත යුතුය.
- \* සියලුම නව ගොඩනැගිලිවල හෝ අලුත් කළ යුතු දැනට පවතින ගොඩනැගිලිවල සැලසුම්, උස, ඉදිරි පෙහුම්, වර්ණයන් පාෂාණ ගුණාංග, වහල සැකසුම් ආකාරය සහ අවිද්‍යුත් චාලිතවල දැනට එම පුජා භූමි ප්‍රදේශය තුළ තිර්මාණය කර ඇති පොරොන්දු ස්වභාවයන්ට අනුකූල විය යුතුය. නාගරික සංවර්ධන අධිකාරියේ සහායනිකූලතාවය අනුමැතිය ඒ සඳහා ලබාගත යුතුය. සියලුම ගොඩනැගිලිවල උස පොළොව මට්ටමේ සිට මීටර් 12 කට නොවැඩි වන සේ වහලවල මුහුණ දැක්විය යුතු වන අතර, ඒවා විදියේ දැනට පවත්නා ගොඩනැගිලිවලට ගැලපෙන ලෙස සමාන උසින් පැවතිය යුතුය.

IA- G-000699- 565 (2001/11)

2 A . I කොටස : (I) ඡේදය - ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අති විශේෂ ගැසට් පත්‍රය - 2001.11.08

- \* මෙම ප්‍රජා භූමි ප්‍රදේශය තුළ සවිකරනු ලබන හෝ පවත්වා ගෙන යනු ලබන සියලුම ප්‍රවාරක සහ දැන්වීම් පුළුල්වල ප්‍රමාණය, ස්වභාවය, අක්ෂර සහ ලාභනවල ස්වභාවය, අක්ෂර සහ ලාභනවල ප්‍රමාණය, වර්ණ ගැන්වීම්, ආලෝකමත් කිරීම්, පුළුල් සවිකරනු ලබන ස්වභාවය හා උස ආදිය තාක්ෂණික සංවර්ධන අධිකාරිය විසින් පිළියෙල කරනු ලබන මහනුවර නගර සංවර්ධන සැලැස්මේ අනුකූලව ද විය යුතු අතර, ඒ සඳහා තාක්ෂණික සංවර්ධන අධිකාරියේ සහායකතාවයෙන් අවසරය ද ලබාගත යුතුය.
- \* සියලුම ගොඩනැගිලිවල නිර්මාණ හා සැලසුම් කටයුතු පුරාණ ගොඩනැගිලි සංරක්ෂණ කටයුතු සඳහා වූ නියුක්තවියක් අති ශ්‍රී ලංකා වාස්තු විද්‍යාඥයන්ගේ සංගමයේ වරලත් වාස්තු විද්‍යාඥයකු විසින් කළ යුතුය.
- \* ආරක්ෂාව සඳහා වූ මුද්‍රාකූල වලට අමතරව මොහොත් හෝ සංවර්ධන කටයුත්තක් සඳහා මෙම ප්‍රදේශය යටතේ පවතින වන සංරක්ෂණ භූමියේ අවසර දෙනු නොලැබේ.
- \* අවදානම් සහ අත්කරායකාරී කටයුතු ඇතුළු ප්‍රජා භූමි ප්‍රදේශයට අනුකූල නොවන සංවර්ධන කාර්යයන් සහ කාර්යයන් වෙතත් කිරීම් සඳහා මෙම ප්‍රදේශය තුළ අවසර දෙනු නොලැබේ.

මංගල සමරවීර,  
තාක්ෂණික සංවර්ධන, අධිකාරීම්, මහජන  
උපදෙස්කරු, නිවාස හා මුද්‍රා අමාත්‍ය.

1 වන උපදේශනය

1979 මාර්තු මස 07 වැනි බදාදා දිනැති, අංක 26/8 දරන ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අති විශේෂ ගැසට් පත්‍රයෙන් ප්‍රකාශයට පත් කර ඇති, 1978 අංක 41 දරන තාක්ෂණික සංවර්ධන අධිකාරිය පනතේ 3 වැනි වගන්තිය යටතේ තාක්ෂණික සංවර්ධන ප්‍රදේශයක් ලෙස ප්‍රකාශයට පත්කර ඇති, මධ්‍යම පළාතේ මහනුවර දිස්ත්‍රික්කයේ, ගඟවට කෙරුලය තුළ පිහිටි මහනුවර මහ නගර සභා බලකිරීමට අයත් ප්‍රදේශය වේ.

2 වන උපදේශනය

මධ්‍යම පළාතේ, මහනුවර දිස්ත්‍රික්කයේ, ගඟවට කෙරුලේ, මහනුවර මහ නගර සභා සීමාව තුළ පිහිටි : උතුර : කෝරටත් ආරාම මාවතකුත් නැගෙනහිරට : කෝරටත් ආරාම මාවත හා වැව් සායරතුත් දකුණට : සංආරජ මාවත හා දළදා විදියෙකුත් බස්නාහිරට : ඩී. එස්. සේනානායක විදිය, ශ්‍රීමත් බෙනව් කොයිසා විදිය, දේව විදිය සහ දිසාපති නිල නිවාස භූමියේ බස්නාහිර මායිමකුත් වටවූ භූමි ප්‍රමාණය වේ.

3 වන උපදේශනය

මධ්‍යම පළාතේ, මහනුවර දිස්ත්‍රික්කයේ, ගඟවට කෙරුලේ, මහනුවර මහ නගර සභා සීමාව තුළ පිහිටි : උතුරට : රජ විදියෙහිද, නැගෙනහිරට : දේව විදියෙහිද, දකුණට : ශ්‍රීමත් බෙනව් කොයිසා විදියෙහිද, බස්නාහිරට : ඩී. එස්. සේනානායක විදියෙහිද මායිම් වී ඇති භූමි ප්‍රමාණයක් වේ.

11-745



2 A I කොටස : (I) දේශ - ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අයි විශේෂ ගැටළු පත්‍රය - 2000.02.23  
 ප්‍රභූතී 1 : தொகுதி (I) — இலங்கைச் சனநாயக சோசலிசக் குடியரசு வாந்தியாளப் பத்திரிகை — அதிகாரபூர்வமானது — 2000.02.23  
 PART I : SEC. (I) - GAZETTE EXTRAORDINARY OF THE DEMOCRATIC SOCIALIST REPUBLIC OF SRI LANKA - 2000.02.23

3. මෙම ප්‍රදේශය තුළ හෝ මෙම ප්‍රදේශයෙන් පිටත, එහෙත් මහලුරේ මහ නගර සභා සීමාව තුළ වන වෙනත් ප්‍රදේශයකිනි කවර හෝ සංවර්ධන කාර්යයක්, (එනම් දැනට පවත්නා ගොඩනැගිලි වෙහෙත් කිරීම, ඒවාට නව කොටස් එකතු කිරීම ආදියද, දැනට පවත්නා ඉඩම් හා ගොඩනැගිලිවල භාවිතයන් වෙනස් කිරීම, නව ගොඩනැගිලි ඉදිකිරීම්, ඉදිකිරීම් කටයුතු සඳහා ඉඩම් අතුරු කොටස්වලට බෙදීම, භූ දර්ශනයන්ට අනුකූලවන පරිදි මාවත් හෝ වීදි නැතිම ආදිය ඇතුළත් වන) ක්‍රියාත්මක කිරීමට අදහස් කරන පෑම් පුද්ගලයෙකුම ඒ කාර්යයන් ආරම්භ කිරීමට පුළුල් වීම අනුමැතිය පතා කාගරික සංවර්ධන අධිකාරියට අයදුම්පතක් ඉදිරිපත් කළ යුතු අතර, තමන් විසින් ඉදිරිපත් කරන ලද අයදුම් පුත නාගරික සංවර්ධන අධිකාරිය විසින් නිසි පරිදි අනුමත කරන තුරු කිසිදු සංවර්ධන කාර්යයක් ඇරඹීම නොකළ යුතුය.

4. ගැටළු රාජ්‍යවිභාගය පුනු භූමි ප්‍රදේශයේ මායිම් :

උතුරට : මහවැලි ගඟකුත්,

නැගෙනහිරට : ජේරාදේසිය මහලුරේ මාර්ගයේ බෞද්ධ ආ-ක 111/2 දරන බෞද්ධ භූමි මහවැලි ගඟට ගලායාම ස්ථානවන ඇල මාර්ගයකුත්,

දකුණට : කෘෂිකර්ම දෙපාර්තමේන්තුව සතු භූමියේ උතුරු මායිමකුත්,

බටහිරට : සහල් නිෂ්පාදන හා සෞඛ්‍ය දෙපාර්තමේන්තුව සතු වර්ග 1141/1 දරන පර්ලුපේ නැගෙනහිර හා උතුරු මායිම් කොටසක් ද, එකී පර්ලුපේ සඳහා ප්‍රධාන මාර්ගයෙන් අයි ප්‍රවේශ මාර්ගයක්ද රාජකීය උද්භිත උද්‍යානයේ වර්ග 1078 දරන පර්ලුපේ නැගෙනහිර මායිමකුත් මායිම් වන්නාවූ සහ මිත්‍රම්පසියේ 1997.02.17 දින මුලික පිළිතුරු ආ-ක මහ 4726 ක් එකී මායිම් සලකුණු කොට ඇත්තාවූ සම්පූර්ණ භූමි ප්‍රදේශය.

මෙම ඉදිරි වූ කාර්තව්‍යය ඉටුකර ගැනීමට පූර්ණ සහයෝගය හා ආධාරය ලබා දෙන ලෙස කාගරික සංවර්ධන අධිකාරිය සහ ද මහජනතාවගෙන් ඉල්ලා සිටී.

ඉන්දික භූමිවර්ධන,  
 කාගරික සංවර්ධන, නිවාස හා ඉදිකිරීම් අමාත්‍ය.

2000 ජනවාරි මස 18 වන දින,  
 කාගරික සංවර්ධන, නිවාස හා ඉදිකිරීම් අමාත්‍යාංශය,  
 සෞඛ්‍යස්ථානය,  
 ශ්‍රී ජයවර්ධනපුර කොට්ටේ,  
 බත්තරමුල්ල.

**Annexure 5: World heritage buildings to be Conserved**

**ඇමුණුම II**

**මහනුවර මහනගර සභා බල ප්‍රදේශය තුළ සාර්ථකයන්ය විය යුතු ගොඩනැගිලි නාම ලේඛණය**

විදිය	වර්ෂනම් අංක / ගොඩනැගිලි වල නම්
01. යටිනුවර විදිය	02, 04, 06, 08, 08 A, මෙතොදිස්න පල්ලිය, 24, 26, 28, 30, 32, 57, 58, 68, 69, 70, 72, නුවර ක්‍රිස්තියානි පල්ලිය, 77, 88, 98, 104, 106, 114, 116, 120, ආනන්ද පිල්වෙස්ටර් විදුලය
02. ශ්‍රී දළදා තපෝවන මාවත	ජනාධිපතියේ නිල නිවස භාරකරුගේ නිවස, නුවර මහනගර සභාව සහ තැපැල් කන්තෝරුව
03. කන්දේ විදිය	09, 17, 24, 26, 28, 35, 40, 42, 44, 46
04. කටුගොඩුල්ල විදිය	ඔසුසල, 04, 06, 08, 10, 22, 27, 29, 31, 31A, 33, 34, 35, කතරගම දේවාලය, 38, 40, 42, 51, 52, 54, 55, 56, 60, 64, 70-72, මුස්ලිම් ධර්ම විදුලය, 75, 81, 83, 83A, 87, 91, 93, 95, 97, 109-115, 114, 119, 121, 123, 125, 132, 132A, ද ශ්‍රීන් කැලේ, වර්ෂනම් අංක. 141-143 අතර නිවස, 155, වර්ෂනම් අංක. 155 ට යාබද මුල්ලෙනි ගොඩනැගිල්ල, 157, 159, ආනන්ද අන්තෝනිස් ප්‍රධාන දේවස්ථානය, 181, ආනන්ද අන්තෝනිස් ප්‍රධාන දේවස්ථානය හා ශ්‍රී ලංකා රක්ෂණ සංස්ථාව අතර ගොඩනැගිල්ල.
05. පන්සල විදියේ සිට දේව විදිය හතරැය	කොච්චි ප්ලාන්ටර්ස් පවුල්වෙන්
06. දේව විදිය	05, 15, 17 - 39, 41, 43, 45, ආනන්ද පාටුල්ගේ පල්ලිය, පැරණි ලක්සල ගොඩනැගිල්ල.
07. පන්සල මාවත	15/17, 15/1, 21
08. හරස් විදිය	02, 05, 06, 08, 12, 14, 16, 21, 35, 41, 42, 43, 45, 47, 49, 51
09. ඩී.එස්. සේනානායක විදිය	01, 07, 11, 11A, 15, 17, 28, 29, 30, 31, 32, 34, 39, 41, 43, 45, 46, 48, 50, 51, 53, 55, 63, 67-69, 72, 75, 77, 83/1, 83/2, 85, 87, 89, 91, 93, 95, 97, 99, 105, 107, 109, 127, 112, 114, 118, 120, 122, 124, 126, 135, 128, 130-132A, 134, 136/1, 136, 137, 138, 139, 140, 141, 142, 144, 146, 148, 150, 152/1, 152, 158, 160, 162, 163, 184, 185, 187, 188, 189, 190, 193-195, 196, 198, 200, 202, 203, 204, 207, 209, 213, 216, 218, 220, 226, 227, 229, 236, 238, ප්‍රීතිවි විදුලය, 239, 263, 266, 270, 275, 283, 285, 289, 291, 293, 308, 324, 328, අඟෝක විදුලය, 355, 357, 361, 363, 365, අඟෝක විදුලය

විදිය	වර්තමාන අංක / ප්‍රවර්ධනය විය යුතු අංක
10. දළඳා විදිය	උල්පත්තේ, දළඳා මාළිගාව, ක්වීන්ස් හෝටලය, හුවන් නූතන බැංකුව, 12, 14, 16, 20, කාහිල්ස් හෝටලය, කාහිල්ස් සහ ඩේවෝන් අතර ඇති හෝටලය, ලංකා බැංකු හෝටලය, මහසල, ඩේවෝන් රෙස්ටුරන්ට්, බැස්ට් පල්ලිය, 24, 26, 28, 30, 32, 34, මහජන බැංකු හෝටලය, 40, 42, 44, 46, මුස්ලිම් හෝටලය, 74A - 74 B, 76 A, ඉම්පීරියල් හෝටලය.
11. රජ විදිය	03, නුවර රැළුම් බන්ධනාගාරය, 09, 26, 28, 30, 32, 44, 46, 67, 69, 76A, 76 B, නුවර ක්‍රිස්තියානි පල්ලිය, 73, පිංත රෙජිමේන්තු මූලස්ථාන හෝටලය
12. කුමාර විදිය	08, 10, 12, 14, 14A
13. කොළඹ විදිය	05, 09, 13, 21, 45, 49, 51, 53, 57, 57A, 85, 87, 89, 91, 93, 95, 97, 99, 101, 103, 105, 107, 109, 111, 113, 115, 167, 169, ගිරාගම වලව්ව, 209, 215 - 217, 243, 245, 02, 04, 06, 08, 22, 26, 28, 48, 50, 52, 54, 56, 58, 60, 64, 68, 68B, 70, 72, 80, 82, 84, 86, 88, 90, 92, 94, 96, 106, 108, 110, 112, 114, 120, 122, 124, 126, 134, 134A, 136, 138, 142, 144, 146, 148/1, 148, 150, 154, 156, 158, 162, 164, 166, 168, 172, 174, 176, 178, 180, 182, 184, 192B, 192, 194, 196, 198-202, 204, 206, 208, 210
14. සේරාදෙණිය පාර	34, 36, 37, 38, 40, 42, 44, 49, 51, 53, 55, 57, 66, 76, 78, 80, 81, 82, 83, 88, 91, 92, 95, 96, 97, සහස් ඵවේරාගේ කනකාරාමය, 101, 103, 105, 111, 115, 120, 122, 124, 126, 128, 153, 158, 211, 225, 227, 258, 265, 267, 269, 271, 273, 281, 297, 299, 301, 303, 305, 307, 292, 294, 296, 333, 337, 339, ක්‍රිස්තියානි උසස් බාලිකා විදුල පල්ලිය, 322, 326, 344, 346, 353, 355, 355 A, 356, 358, 369, 371, 373, 375, 409, 443, 445, 447, 449, 449 A, 451, 453A, 455, 457, 459.
15. අනාර්ථක ධර්මපාල මාවත	ශ්‍රී දළඳා මාළිගා විශ්‍රාම ශාලාව, නුවර බෞද්ධ මධ්‍යස්ථානය, සුරා විදු දෙපාර්තමේන්තුව, 04, 06, 08, 12, 14, 19, 20, 22, 23, 25, 27, 31, ශ්‍රී දළඳා මාළිගාව සහ එහි අවට ඇති පහර දේවාල, රජමාළිගාව, ශ්‍රවණාගාරය, ක්වීන්ස් බංක්.
16. යටිතල ව්‍යුහ විදිය කොළඹ විදිය හන්දිය	55

## Annexure 6: “Varatthenna – Hakkinda” Environmental Protection Area Gazette



# ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ ගැසට් පත්‍රය

අති විශේෂ

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අංක 2024/6 - 2017 ජූනි මස 19 වැනි සඳුදා - 2017.06.19

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(රජයේ බලධරයා ප්‍රසිද්ධ කරන ලදී)

## I වැනි කොටස: (I) වැනි ඡේදය - සාමාන්‍ය

### රජයේ නිවේදන

එල්. ඩී. ඩී. 4/81 (VI)

1980 අංක 47 දරන ජාතික පාරිසරික පනත

24ඇ සහ 24ඈ වගන්ති යටතේ වූ නියමය

ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ ආණ්ඩුක්‍රම ව්‍යවස්ථාවේ 44 වන ව්‍යවස්ථාවේ (2) වන ඡේදය සමඟ කියවිය යුතු 1980 අංක 47 දරන ජාතික පාරිසරික පනතේ 24ඇ සහ 24ඈ වගන්ති මගින් මා වෙත පැවරී ඇති බලතල ප්‍රකාර, ජනාධිපති ඡේමතිපාල සිරිසේන වන මා විසින් මේ නියමය මගින් -

- (අ) මෙහි 1 වන උපලේඛනයේ විස්තර කර ඇති සීමා තුළ පිහිටි භූමි ප්‍රදේශය ඉහත කී පනතේ කාර්ය සඳහා පාරිසරික ආරක්ෂක ප්‍රදේශයක් විය යුතු බවටත්, එම ප්‍රදේශය "වරාතැන්න-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශය" යනුවෙන් හඳුන්වනු ලැබිය යුතු බවටත් ;
- (ආ) මෙම නියමය බලපැවැත්වීමට පවතිනාක් කල් -
  - (i) ඉහත කී වරාතැන්න-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ වූ ද, ඉහත කී පනතේ විධිවිධානවලට පටහැනි වූ ද, යම් සැලසුම් යෝජනා ක්‍රමයක් හෝ ව්‍යාපෘතියක් මේ නියමය කීකුත් කරනු ලබන දිනයේ සිට ක්‍රියාත්මක වීම හතර විය යුතු බවටත් ;
  - (ii) ඉහත කී වරාතැන්න-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශයේ සීමා ඇතුළත බලතල, කාර්ය හෝ කර්තව්‍ය ක්‍රියාත්මක කිරීම, ඉටු කිරීම හෝ සිදුකිරීම අධිකාරිය හෝ අධිකාරිය විසින් බලය පවරන යම් තැනැත්තකු හැර වෙනත් කිසිම තැනැත්තකු විසින් නොකළ යුතු බවටත් ; සහ
  - (iii) වරාතැන්න-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ යම් කටයුත්තක් පවත්වාගෙන යාමට අදහස් කර සිටින යම් තැනැත්තකු විසින් මෙහි II වන උපලේඛනයේ නිශ්චිතව දක්වා ඇති අවසරලත් භාවිතයක් පමණක් පවත්වාගෙන යා යුතු අතර මෙහි III වන උපලේඛනයේ නිශ්චිතව දක්වා ඇති නියමයන් ප්‍රකාරව ඒ සඳහා අධිකාරියේ අනුමතය ලබා ගත යුතු බවටත් ;

ප්‍රකාශයට පත් කරමි.

1A - PG 3374 - 1,007 (2017/06)

මෙම අති විශේෂ ගැසට් පත්‍රය [www.documents.gov.lk](http://www.documents.gov.lk) වෙබ් අඩවියෙන් බාගත කළ හැක.



Fax	2872601 (Admin), 2863984 (Finance)	2872606 (Lab)	2862335 (W/M)	79-7263 (RATD)	Fax : 2872296	Fax : 2872609	Media Unit : 2873440	(Western Province)	Tel : 2862831 Fax : 2865293
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මහවැලි සංවර්ධන හා පරිසර අමාත්‍යාංශය | மாவலி அமைச்சுத்தி மற்றும் சுற்றுலா அமைச்சு | Ministry of Mahaweli Development & ...

2 A I කොටස: (I) ඡේදය - ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අති විශේෂ ගැසට් පත්‍රය - 2017.06.19

(අ) අධිකාරිය විසින් නිකුත් කරනු ලබන මාර්ගෝපදේශවලට අනුකූලව වරායාන්ත-හක්කිඳු පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ සිදුවන ක්‍රියාකාරකම් අධීක්ෂණය කිරීම සඳහා පහත දැක්වෙන සාමාජිකයන්ගෙන් සමන්විත අධීක්ෂණ කමිටුවක් පිහිටුවනු ලැබිය යුතු ය :-

- (i) කමිටුවේ සභාපතිවරයා වශයෙන් ක්‍රියා කළ යුතු අධ්‍යක්ෂවරයකුගේ කන්තමාවට අඩු නොවන කතකුරක් දරන අධිකාරියේ නියෝජිතයෙකු ;
- (ii) ශ්‍රී ලංකා මහලැලි අධිකාරියේ නියෝජිතයෙකු ;
- (iii) මහනුවර දිස්ත්‍රික් ලේකම් කාර්යාලයේ නියෝජිතයෙකු ;
- (iv) ජාතික ගොඩනැගිලි පර්යේෂණ සංවිධානයේ නියෝජිතයෙකු ;
- (v) නාගරික සංවර්ධන අධිකාරියේ නියෝජිතයෙකු ;
- (vi) වනජීවී සංරක්ෂණ දෙපාර්තමේන්තුවේ නියෝජිතයෙකු ;
- (vii) ඉඩම් පරිහරණ ප්‍රතිපත්ති පැලපුම් දෙපාර්තමේන්තුවේ නියෝජිතයෙකු ;
- (viii) කෘෂිකර්ම දෙපාර්තමේන්තුවේ ස්වාභාවික සම්පත් කළමනාකරණ මධ්‍යස්ථානයේ නියෝජිතයෙකු ;
- (ix) මහනුවර මහනගර සභාවේ නියෝජිතයෙකු ;
- (x) හාරිස්පත්තුව සහ යටිතැන් පහසුකම් ප්‍රාදේශීය සභාවලින් එක් නියෝජිතයෙකු බැගින් ;
- (xi) මහනුවර කඩවත්සකර සහ ගඟවට කෝරළේ, හාරිස්පත්තුව සහ යටිතැන් පහසුකම් ප්‍රාදේශීය ලේකම් කාර්යාලවලින් එක් නියෝජිතයෙකු බැගින් ;
- (xii) ප්‍රදේශයේ ක්‍රියාත්මකව පවතින පුජා මූල සංවිධානයකින් එක් නියෝජිතයෙකු.

මේ නියමයේ කාර්ය සඳහා "අධිකාරිය" යන්නෙන් 1980 අංක 47 දරන ජාතික පාරිසරික පනත යටතේ පිහිටුවනු ලැබූ මධ්‍යම පරිසර අධිකාරිය අදහස් වේ.

මෙම ශ්‍රීපාල සිරිසේන,  
ජනාධිපති.

2017 ක් වූ ජූනි මස 13 දින,  
කොළඹ දී ය.

I වන උපලේඛනය

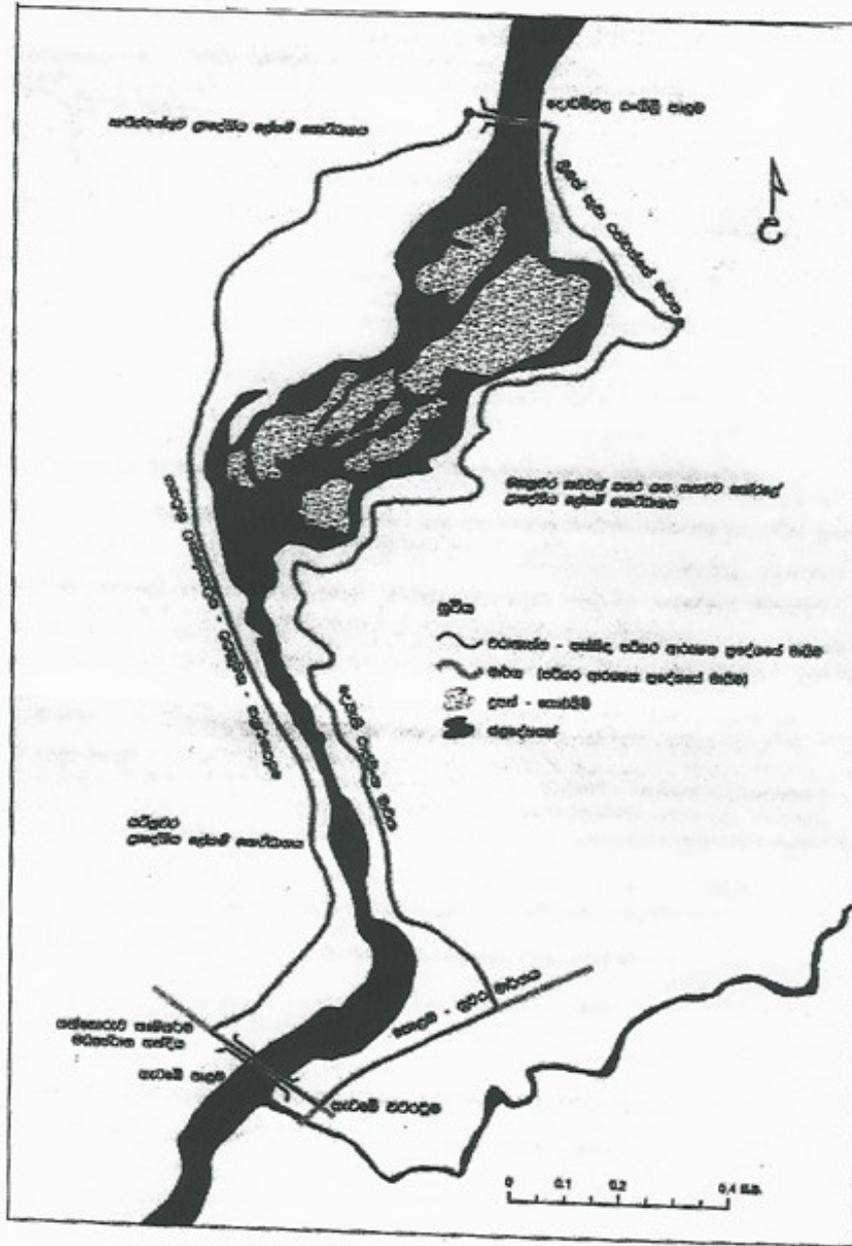
මධ්‍යම පළාතේ, මහනුවර දිස්ත්‍රික්කයේ, මහනුවර කඩවත් සකර සහ ගඟවටකෝරළේ, හාරිස්පත්තුව සහ යටිතැන් පහසුකම් ප්‍රාදේශීය ලේකම් කාර්යාලය තුළ පිහිටියා වූ මහලැලි ගඟ සහ එහි පිහිටි සියලුම දූපත් ඇතුළත්ව, ප්‍රමාණයෙන් හෙක්ටයාර 59.4 ක් වන්නා වූ පහත සඳහන් මායිම්වලින් වට වූ පහත සීමිතමෙහි දැක්වෙන ප්‍රදේශය වරායාන්ත-හක්කිඳු පාරිසරික ආරක්ෂක ප්‍රදේශය ලෙස හැඳින්වේ. එනම්,

- උතුරට : ජේරාදෙණිය-හල්මිටුව-කටුගස්තොට මාර්ගයේ මධ්‍ය රේඛාව සහ දෙඩම්වල සංගිලි පාලමේ මධ්‍ය රේඛාව හමුවන ලක්ෂ්‍යයේ සිට දෙඩම්වල සංගිලි පාලමේ මධ්‍ය රේඛාව ඔස්සේ, එකී මධ්‍ය රේඛාව සහ ශ්‍රීමත් කුඩා රත්වත්තේ මාවතේ මධ්‍ය රේඛාව හමුවන ලක්ෂ්‍යය දක්වා,
- නැගෙනහිරට : ඉහත අවසන් වරට සඳහන් කරන ලද ලක්ෂ්‍යයේ සිට ශ්‍රීමත් කුඩා රත්වත්තේ මාවතේ මධ්‍ය රේඛාව ඔස්සේ, දෙවැනි රාජසිංහ මාවතේ මධ්‍ය රේඛාව ඔස්සේ හා කොලඹ-මහනුවර මාර්ගයේ මධ්‍ය රේඛාව ඔස්සේ ගැටමේ වටරවුමේ මධ්‍ය ලක්ෂ්‍යය දක්වා,
- දකුණට : ඉහත අවසන් වරට සඳහන් කරන ලද ලක්ෂ්‍යයේ සිට ගැටමේ පාලමේ මධ්‍ය රේඛාව සහ කොළඹ-මහනුවර මාර්ගයේ මධ්‍ය රේඛාව ඔස්සේ, එකී මධ්‍ය රේඛාව, ගන්තෝරුව කෘෂිකර්ම මධ්‍යස්ථාන හන්දියේ දී ජේරාදෙණිය-හල්මිටුව-කටුගස්තොට මාර්ගයේ මධ්‍ය රේඛාව හමුවන ලක්ෂ්‍යය දක්වා,
- බටහිරට : ඉහත අවසන් වරට සඳහන් කරන ලද ලක්ෂ්‍යයේ සිට ජේරාදෙණිය-හල්මිටුව-කටුගස්තොට මාර්ගයේ මධ්‍ය රේඛාව ඔස්සේ එකී මධ්‍ය රේඛාව, දෙඩම්වල සංගිලි පාලමේ මධ්‍ය රේඛාව හමුවන ස්ථානය දක්වා

වූ මායිම් තුළ පිහිටි ප්‍රදේශය වේ.

I කොටස: (I) අන්දම - ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අති විශේෂ ගැසට් පත්‍රය - 2017.06.19

3A



වරාමැනිත-කැබිලි පාරිසරික ආරක්ෂක ප්‍රදේශයේ (පා. ආ. ප්‍ර.) සිතියම

4 A I කොටස: (I) ඡේදය - ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අති විශේෂ ගැසට් පත්‍රය - 2017.06.19

II වැනි උපලේඛනය

අවසරලත් භාවිතයන්

වරාතැන්ත-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ අවසරලත් භාවිතයන් පහත දැක්වේ :-

1. නාගරික සංවර්ධන අධිකාරිය සහ අදාළ පළාත් පාලන ආයතන විසින් අනුමත කරනු ලබන පදිංචිය සඳහා වන නිවාස, කාර්යාල, කුඩා පරිමාණ ව්‍යාපෘති ස්ථාන ඉදිකිරීම.
2. දැනට පවත්නා පදිංචිය සඳහා වන නිවාස සහ නිවාස සංකීර්ණවල පුළුල් කිරීම්, යටිතල පහසුකම් වැඩි දියුණු කිරීම් හා නවීකරණය කිරීම්.
3. දැනට පවත්නා කාර්යාල සහ ව්‍යාපෘති ස්ථානවල යටිතල පහසුකම් වැඩි දියුණු කිරීම් හා නවීකරණය කිරීම්.
4. දැනට පවත්නා මා මාවත්, ජල සැපයුම් සහ විදුලි සැපයුම් මාර්ග නඩත්තුව සහ අලුත්වැටියා කිරීම්.
5. ආගමික, අධ්‍යාපනික හා පර්යේෂණ කටයුතු පවත්වාගෙන යාම්.
6. අධ්‍යාපනික සහ පර්යේෂණ කටයුතු සඳහා පමණක් තාවකාලික කඳවුරු භූමි ඉදිකිරීම්.
7. දේශීය ශාක විශේෂ පමණක් භාවිතා කරමින් වන වගාවන් කිරීම සහ පැල නවාත් හා මසු උයන් ඇති කිරීම සහ පවත්වාගෙන යාම්.

III වන උපලේඛනය

අවසරලත් භාවිතයන් ක්‍රියාත්මක කිරීමේ දී යටත් විය යුතු කොන්දේසි

වරාතැන්ත-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ සිදු කරනු ලබන අවසරලත් භාවිතයන්ට අදාළ සියලුම කටයුතු පහත දැක්වෙන කොන්දේසිවලට යටත්ව සිදු කළ යුතු වේ.

1. II වැනි උපලේඛනයෙහි සඳහන් වරාතැන්ත-හක්කිඳ පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ අවසරලත් භාවිතයන් සඳහා අනුමතය ලබා ගැනීමට අදාළ සියලුම අයදුම්පත් අධිකාරිය වෙත ඉදිරිපත් කළ යුතු ය.
2. II වන උපලේඛනයෙහි සඳහන් අනුමතය අපේක්ෂිත කිසියම් අවසරලත් භාවිතයක්, 1980 අංක 47 දරන ජාතික පාරිසරික පනතේ IV ඇ කොටස යටතේ නියම කරන ලද නියමිත ව්‍යාපෘතියක් වන අවස්ථාවක දී, අදාළ අධිකාරියෙන් එම නියමිත ව්‍යාපෘතිය සඳහා අවශ්‍ය පූර්ව අනුමතය ලබා ගත යුතු ය.
3. II වන උපලේඛනයෙහි සඳහන් කිසියම් අවසරලත් භාවිතයක්, 1980 අංක 47 දරන ජාතික පාරිසරික පනතේ IV ඇ කොටස යටතේ නියම කරන ලද නියමිත ව්‍යාපෘතියක් නොවන අවස්ථාවක දී,
  - (අ) ව්‍යාපෘති යෝජනාවක් අධිකාරිය විසින් සපයනු ලබන නිර්දේශ විෂයයන්ට හෝ ප්‍රශ්නාවලියකට අනුකූලව අනුමතය සඳහා අධිකාරිය වෙත ඉදිරිපත් කරනු ලැබිය යුතු ය.
  - (ආ) අධිකාරිය විසින් පත් කරනු ලබන තාක්ෂණික ඇගයීම් කමිටුවක් විසින් එම ව්‍යාපෘති යෝජනාව ඇගයීමට ලක් කර අධිකාරිය විසින් :
    - (i) කොන්දේසිවලට යටත්ව යෝජිත ව්‍යාපෘතිය ක්‍රියාත්මක කිරීම සඳහා අනුමතය ලබා දීම හෝ
    - (ii) හේතු දක්වා ව්‍යාපෘතිය ක්‍රියාත්මක කිරීම සඳහා අනුමතය ලබා දීම ප්‍රතික්ෂේප කිරීම.

සිදු කළ යුතු ය.

- (ඇ) අධිකාරිය විසින් නිකුත් කරනු ලබන පාරිසරික අනුමැතිය ලබා දෙන ලද දින සිට වසර තුනක කාලයක් සඳහා වලංගු වේ.

(අ) පාරිසරික අනුමැතියේ වලංගු කාලය අවසන් වන දින සිට වැඩ කරන දින නිහඬ (30) පෙරාතුව අයදුම්කරු විසින් අනුමතය අලුත් කිරීම සඳහා අයදුම් කළ යුතු ය.

4. වරාන්ත-හක්කිද පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ පවත්නා :

(අ) දූපත් තුළ හෝ

(ආ) රජයේ යම් ඉඩමක් තුළ

කාවකාලික හෝ ස්ථිර ඉදිකිරීමක් හෝ කිසිදු ආකාරයක සංවර්ධන කටයුත්තක් හෝ සිදු නොකළ යුතු ය.

5. පාරිසරික ඉඩම් ශුද්ධීකරණ අතර බෙදුම් සඳහා සිදු කෙරෙන ඉඩම් කට්ටි කිරීම හැර වරාන්ත-හක්කිද පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ නිවාස ඉදිකිරීම් සඳහා හෝ වෙනත් සංවර්ධන කටයුතු සඳහා වාණිජ මට්ටමේ ඉඩම් කට්ටි කිරීම් සිදු නොකළ යුතු ය.

6. වරාන්ත-හක්කිද පාරිසරික ආරක්ෂක ප්‍රදේශයේ කිරිසාර පැවැත්මට අවහිරවන කිසිදු බාධාවක් හෝ ක්‍රියාකාරකමක් සඳහා අවසර දෙනු නොලැබිය යුතු ය. එවැනි යම් ඉදිකරන ලද බාධකයක් ඉවත් කිරීම සඳහා හෝ පවත්වාගෙන යනු ලබන ක්‍රියාකාරකමක් නැවැත්වීම සඳහා අධිකාරිය විසින් විධාන කරනු ලැබිය යුතු ය.

7. අවසරලත් භාවිතයන්ට අදාළ සියලු සංවර්ධන ක්‍රියාකාරකම් අධිකාරිය විසින් ලබා දෙන මාර්ගෝපදේශවලට අනුව ක්‍රියාත්මක කරනු ලැබිය යුතු ය.

8. සියලු අවසරලත් භාවිතයන් පරිසරයට හානියක් හෝ අවහිරයක් නොවන පරිදි හෝ මහජනතාවට පීඩාවක් නොවන පරිදි පවත්වාගෙන යා යුතු ය.

9. ශ්‍රී ලංකා මහවැලි අධිකාරිය විමසා ගත ඉඩුපේ සිට ගොඩබිම් දෙසට මීටර් පහත (5m) රක්ෂිත ප්‍රදේශයක් සලකුණු කළ යුතු ය.

10. ඉහත 9 වන කොන්දේසියෙහි සඳහන් මීටර් 5ක ගත රක්ෂිත ප්‍රදේශය තුළ.

(අ) කිසිදු කාවකාලික හෝ ස්ථිර ඉදිකිරීමක් සිදු නොකළ යුතු ය ;

(ආ) අධිකාරියේ හෝ වෙනත් අදාළ ආයතනවල අනුමතය ලබා ගැනීමෙන් තොරව, පවත්නා ගොඩනැගිලි නවීකරණය කිරීම සිදු නොකළ යුතු ය ;

(ඇ) පවත්නා කිසිදු දේශීය සත්ත්ව හෝ වෘක්ෂලතා විශේෂයන්ට හානියක් සිදු කිරීම හෝ හානි සිදු විය හැකි කිසිදු කටයුත්තක් සිදු නොකළ යුතු ය ;

(ඈ) කිසිදු භූ අලංකරණ කටයුත්තක් සිදු නොකළ යුතු ය ;

(ඉ) කිසිදු ඉඩම් ගොඩකිරීමේ කටයුත්තක් සිදු නොකළ යුතු ය.

11. අධ්‍යාපන හා පර්යේෂණ කටයුතු සිදු කිරීමේ දී, කිසිදු රසායනික හෝ වෙනත් භෞතික දූෂකයක් පරිසරයට එකතු කිරීමක් හෝ පවත්නා පරිසර තත්ත්වයන් වෙනස් කිරීමක් සිදු නොකළ යුතු ය.

12. ආක්‍රමණශීලී ලක්ෂණ දරන හෝ ආක්‍රමණශීලී විය හැකියැයි අනුමාන කළ හැකි කිසිදු ආගන්තුක ශාක හෝ සත්ත්ව විශේෂයක් පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ වගා කිරීම හෝ ඇති කිරීම හෝ පාරිසරික ආරක්ෂක ප්‍රදේශයට හඳුන්වා දීම සිදු නොකළ යුතු ය.

13. පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ සිදු කරන කිසිදු ඉදිකිරීමක් ප්‍රදේශයේ ස්වභාවික සෞන්දර්යය හා දර්ශනය අවහිර වන පරිදි හෝ ඊට බාධාවක් වන පරිදි සිදු නොකළ යුතු ය.

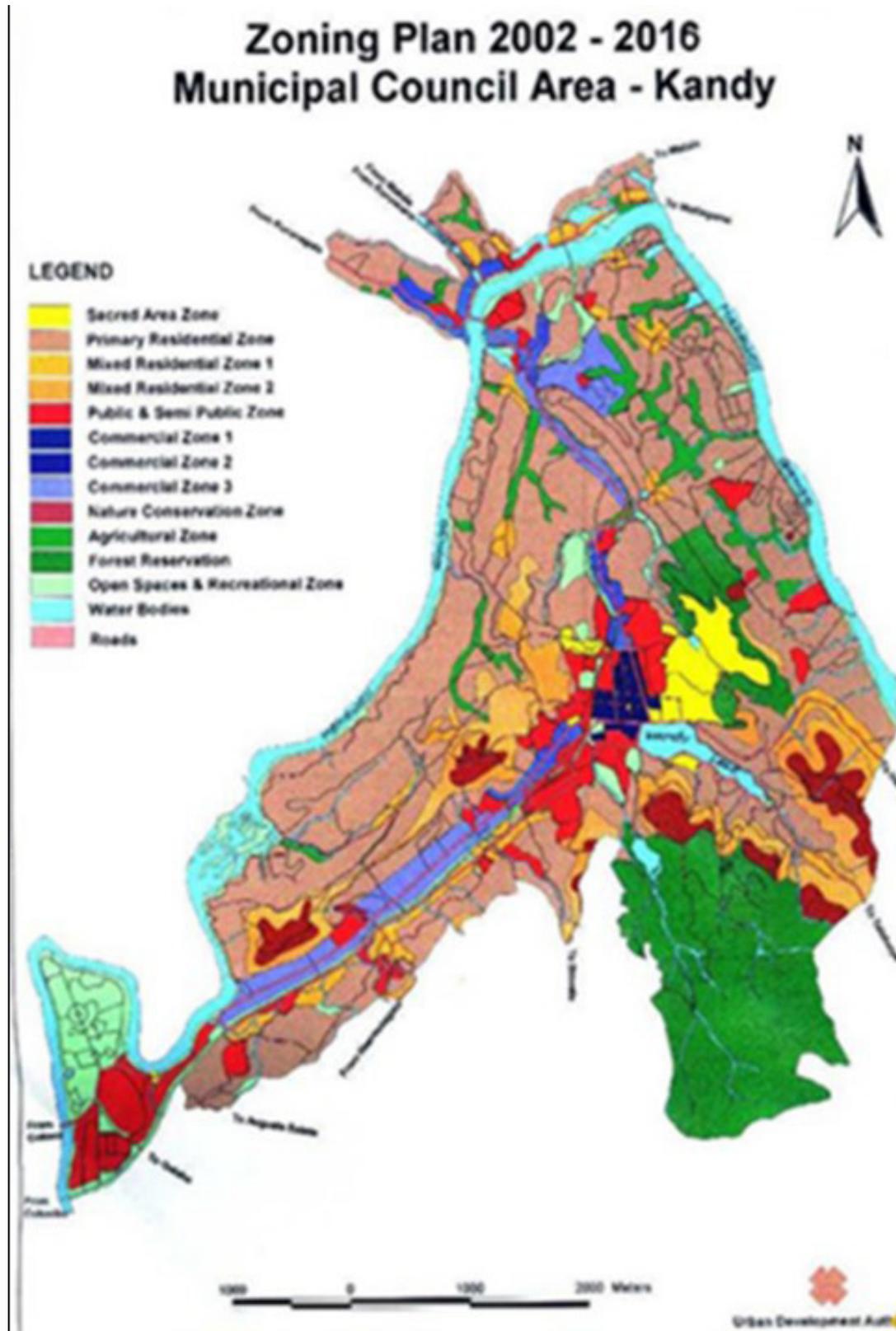
14. කුඹුරු, වතුරු, ගොභාරු, මුදු හෝ පහත් බිම් ගොඩ කිරීම් සිදු නොකළ යුතු ය.

6 A I කොටස: (I) ඡේදය - ශ්‍රී ලංකා ප්‍රජාතාන්ත්‍රික සමාජවාදී ජනරජයේ අති විශේෂ ගැසට් පත්‍රය - 2017.06.19

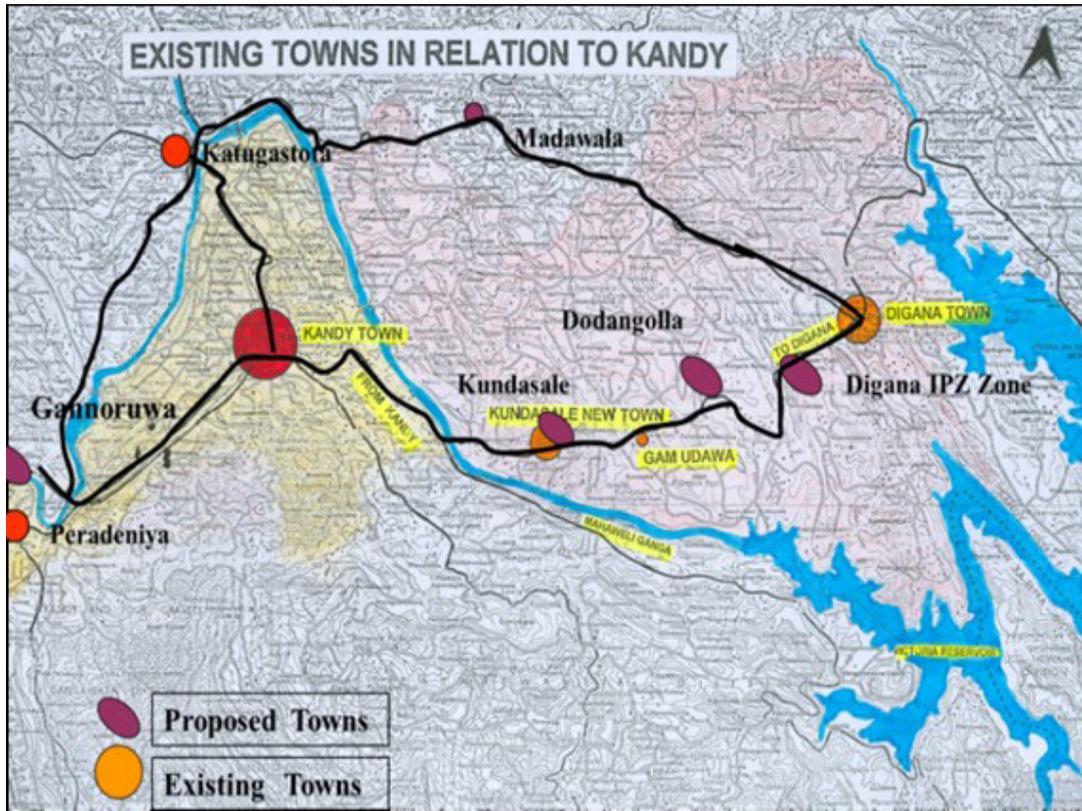
15. අපරාධ සහ සහ අපද්‍රව්‍ය, ඉහත සඳහන් සීමාව තුළ මහවැලි ගඟට හෝ ගඟ රක්ෂිතයට හෝ ගඟට සම්බන්ධවන ජල මාර්ගයකට හෝ ගොඩබිමට බැහැර කිරීම සිදු නොකළ යුතු ය.
16. මහවැලි ගඟෙහි භෞතික හෝ රසායනික තත්ත්වය වෙනස් කළ හැකි හෝ එහි ජීවත්වන සතුන්ට හෝ සාකච්චා අභිකාර විය හැකි කිසිදු රසායනික ද්‍රව්‍යයක් ඉහත සී සීමාව තුළ මහවැලි ගඟට හෝ ගඟ රක්ෂිතයට හෝ ගඟට සම්බන්ධවන ජල මාර්ගයකට හෝ බැහැර කිරීම සිදු නොකළ යුතු ය.
17. පාරිසරික ආරක්ෂක ප්‍රදේශය තුළ කිසිදු සාන්ක්‍රීය හෝ ශිල්පීය ක්‍රමයක් භාවිතයෙන් බිහිවූ ද්‍රව්‍ය උකහා ගැනීම හෝ ගවේෂණ කටයුතු සිදු කිරීම නොකළ යුතු ය.
18. පවත්නා හෝ යෝජිත සියලු අවසරලත් භාවිතයන් සඳහා :
  - (අ) පාංශු සංරක්ෂණය, වර්ෂා ජලය බැහැර කිරීම, අපද්‍රව්‍ය (සහ හෝ ද්‍රව) කළමනාකරණය, අප ජලය කළමනාකරණය සහ භූ අලංකරණ කටයුතු සඳහා වන ඒකාබද්ධ කළමනාකරණ සැලැස්මක් පැවතිය යුතු ය.
  - (ආ) එවැනි සැලසුමක් සකස් කිරීමේ දී අධිකාරිය, පළාත් පාලන ආයතන හෝ අදාළ ආයතන විසින් නිකුත් කළ මාර්ගෝපදේශවලට අනුකූලව සකස් කළ යුතු ය.
  - (ඇ) සංවර්ධනය කරනු ලබන කැනැන්තා විසින් මෙම සැලැස්ම ක්‍රියාත්මක කර පවත්වාගෙන යා යුතු ය.
19. අවසරලත් භාවිතයක් අනුමත කිරීමේ ක්‍රියාවලිය සඳහා සහ අවසරලත් භාවිතයට අදාළ ක්‍රියාකාරකම් පසු විපරම් කිරීම සඳහා පරිපාලන ගාස්තුවක් (අධිකාරිය විසින්) ව්‍යාපෘති යෝජනා වෙතින් අයකර ගත යුතු ය.
20. ගම්වැසියන්ගේ සම්ප්‍රදායික ජන ජීවිතයට බාධාවන පරිදි කිසිදු ක්‍රියාකාරකමක් සිදු නොකළ යුතු ය.
21. මෙහි සඳහන් නීත්‍රාමි කොන්දේසියක් කඩකරනු ලබන කැනැන්තෙක් 1980 අංක 47 දරන ජාතික පාරිසරික පනතේ ප්‍රතිපාදන යටතේ දඬුවම් ලැබිය හැකි වරදක් සිදු කරන්නේ ය.

07-67

### Annexure 7: 2002-2016 Zoning Plan

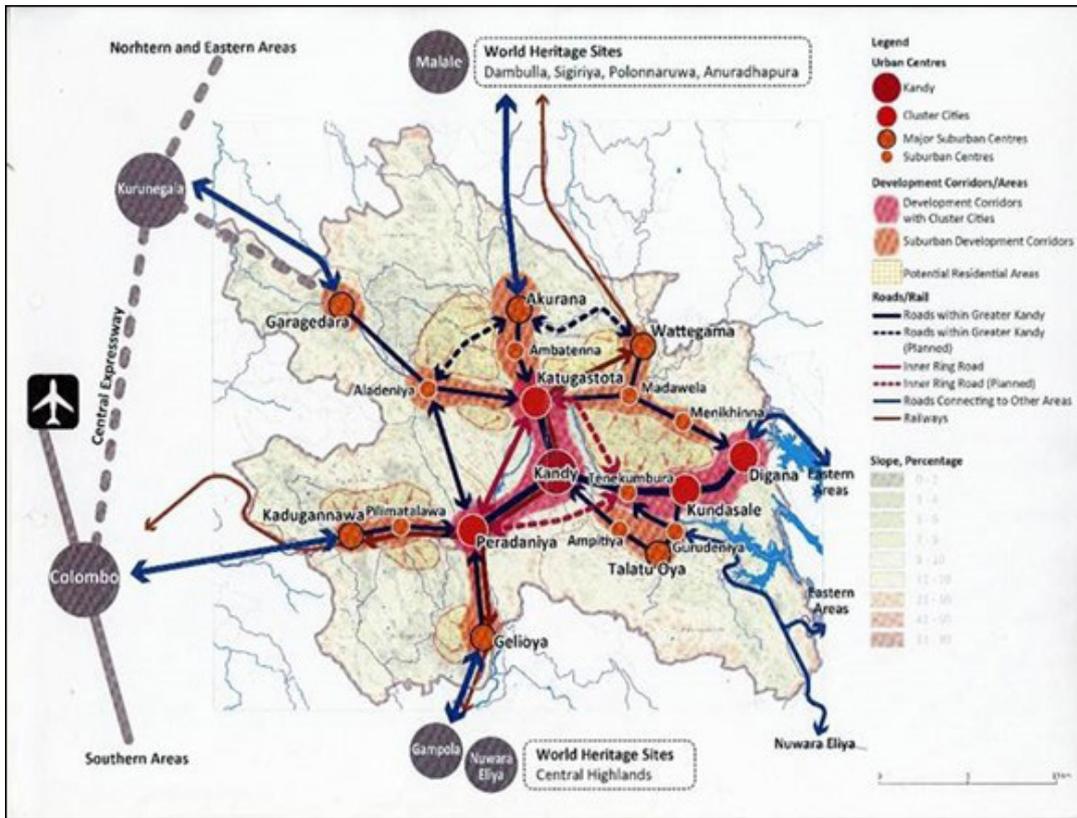


## Annexure 8: Greater Kandy Development Plan 2008-2020

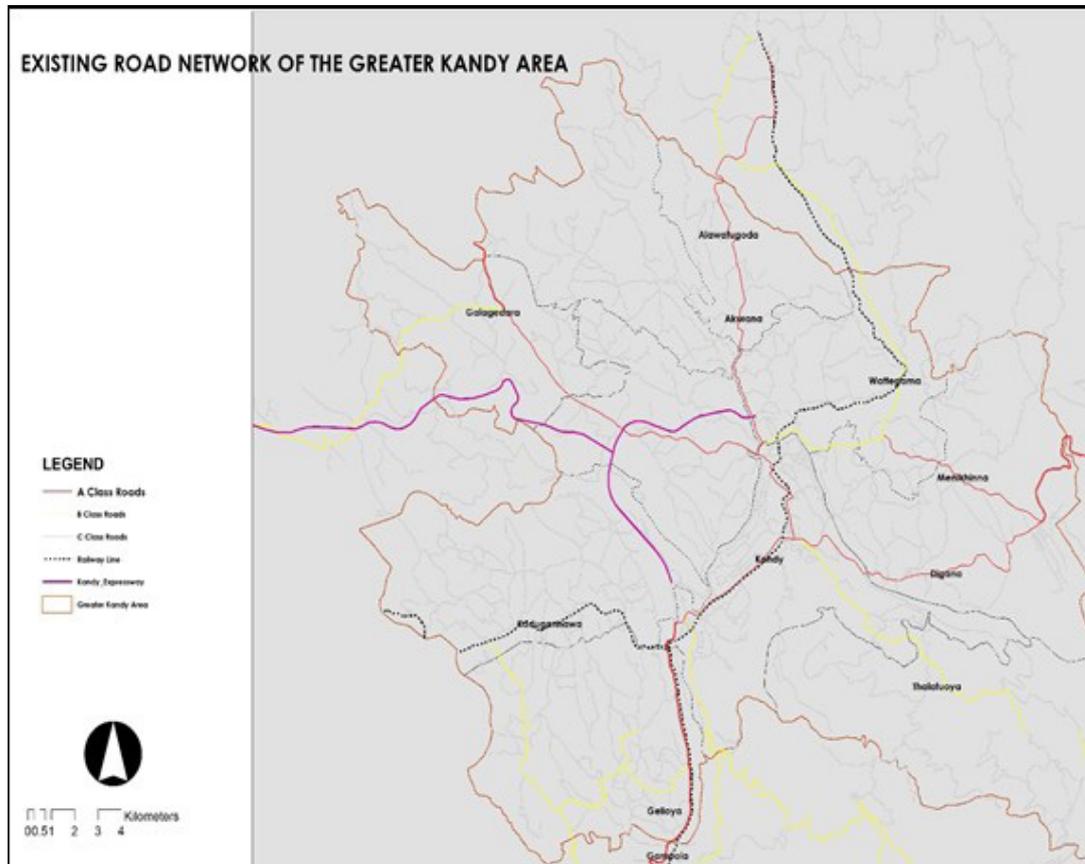




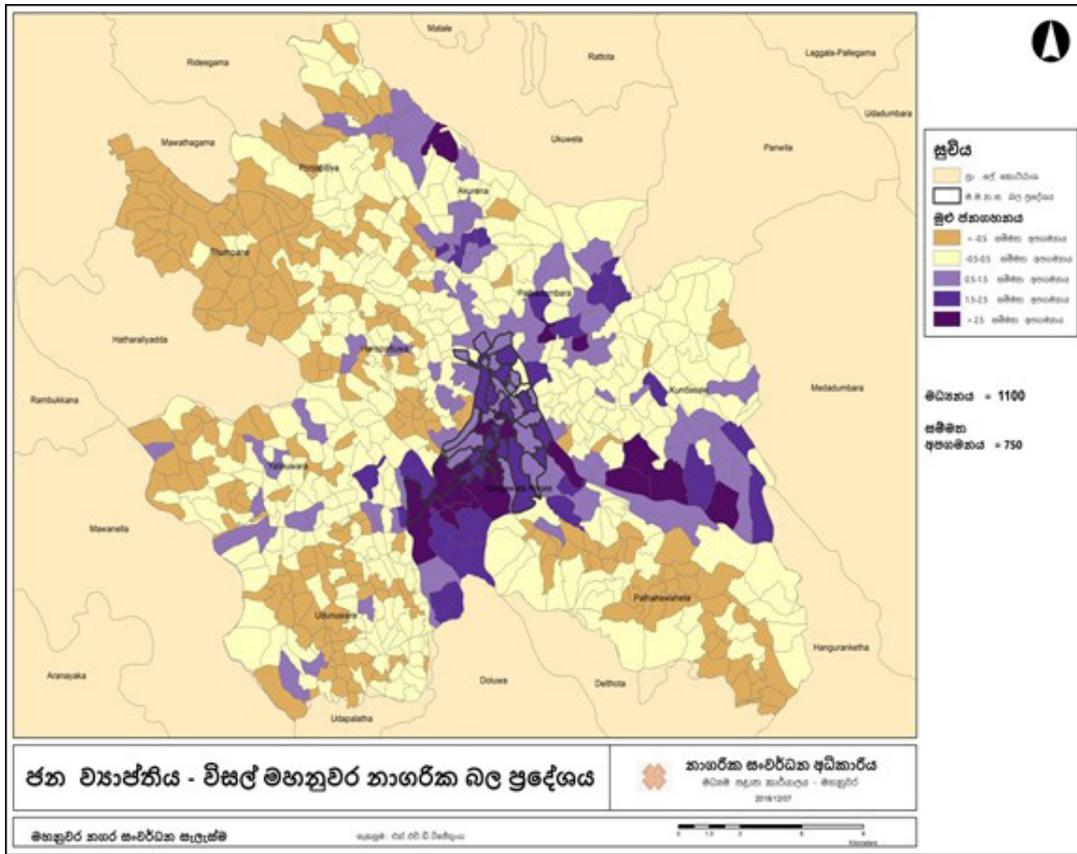
## Annexure 10: Greater Kandy Urban Plan



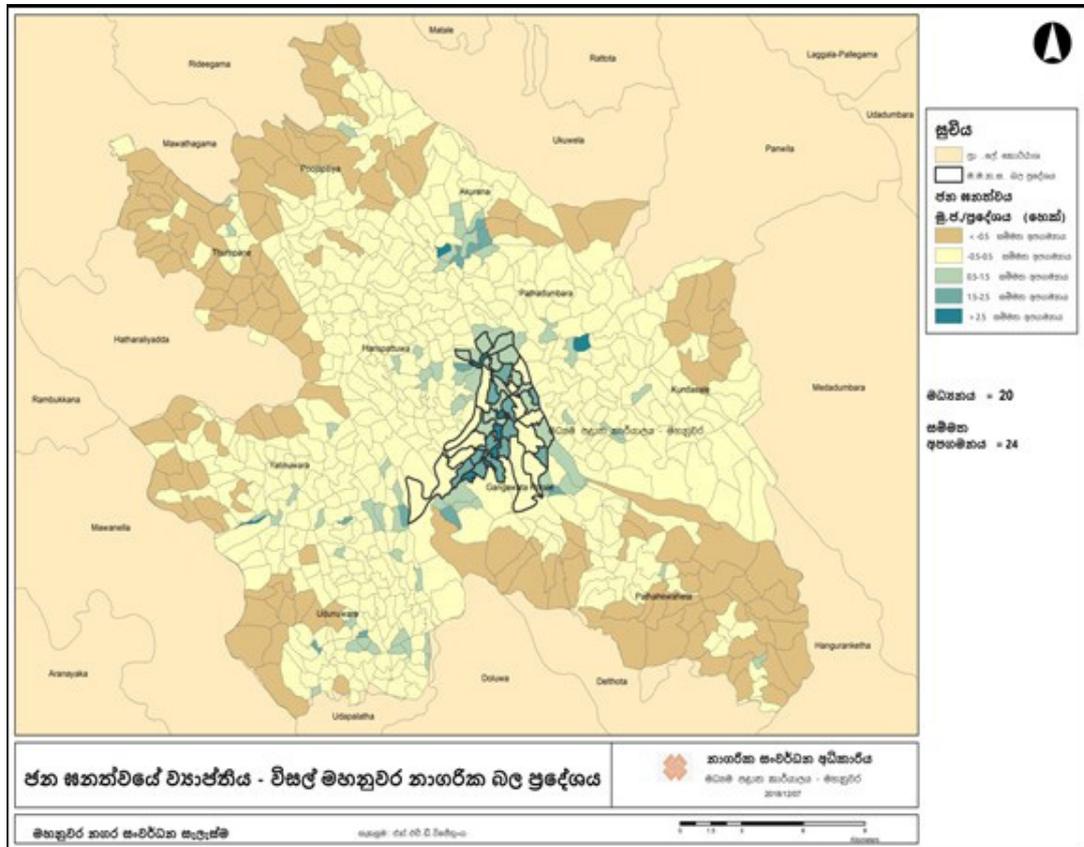
## Annexure 11: Road Network of Study Area



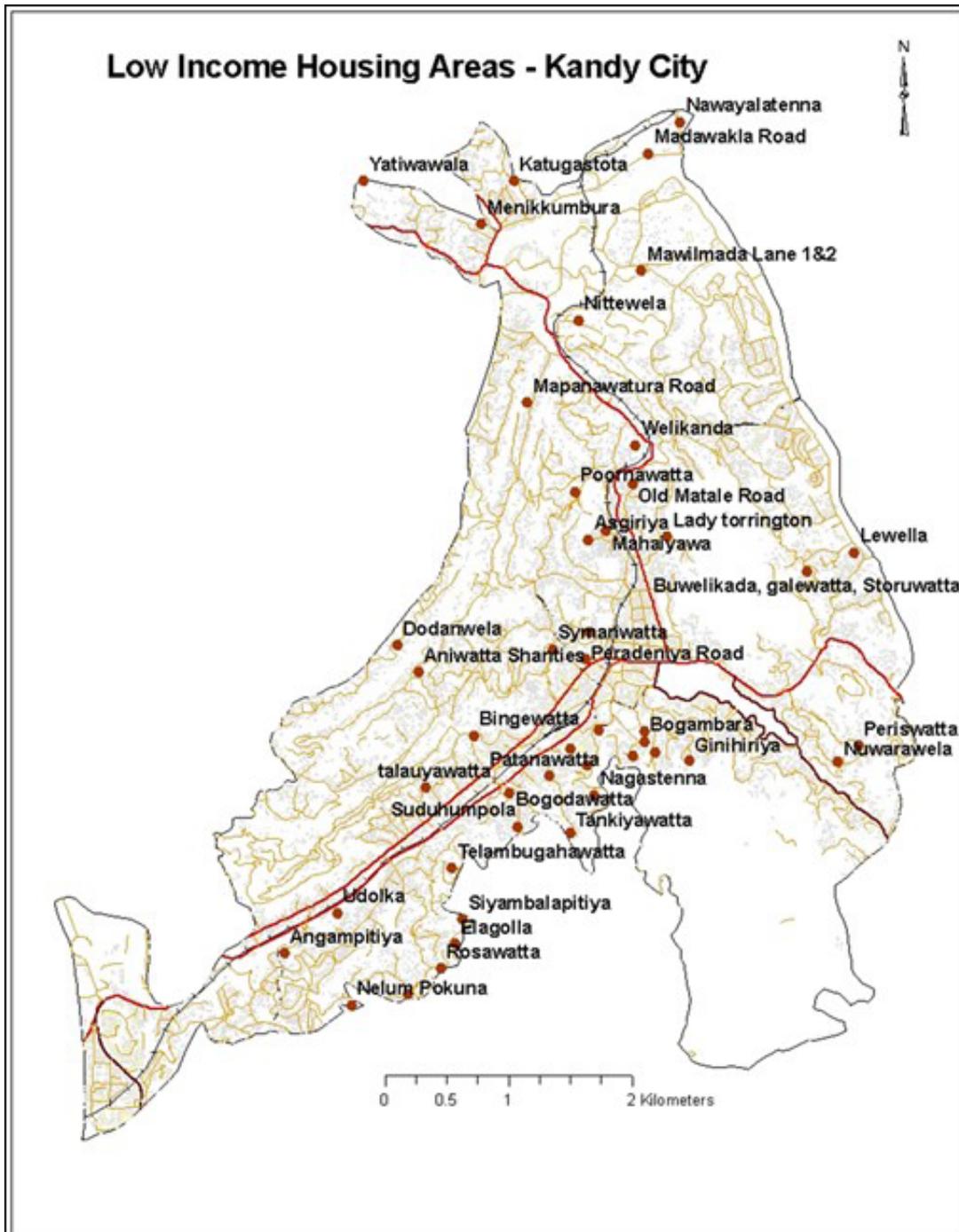
### Annexure 12: Population Distribution of Study Area -2012



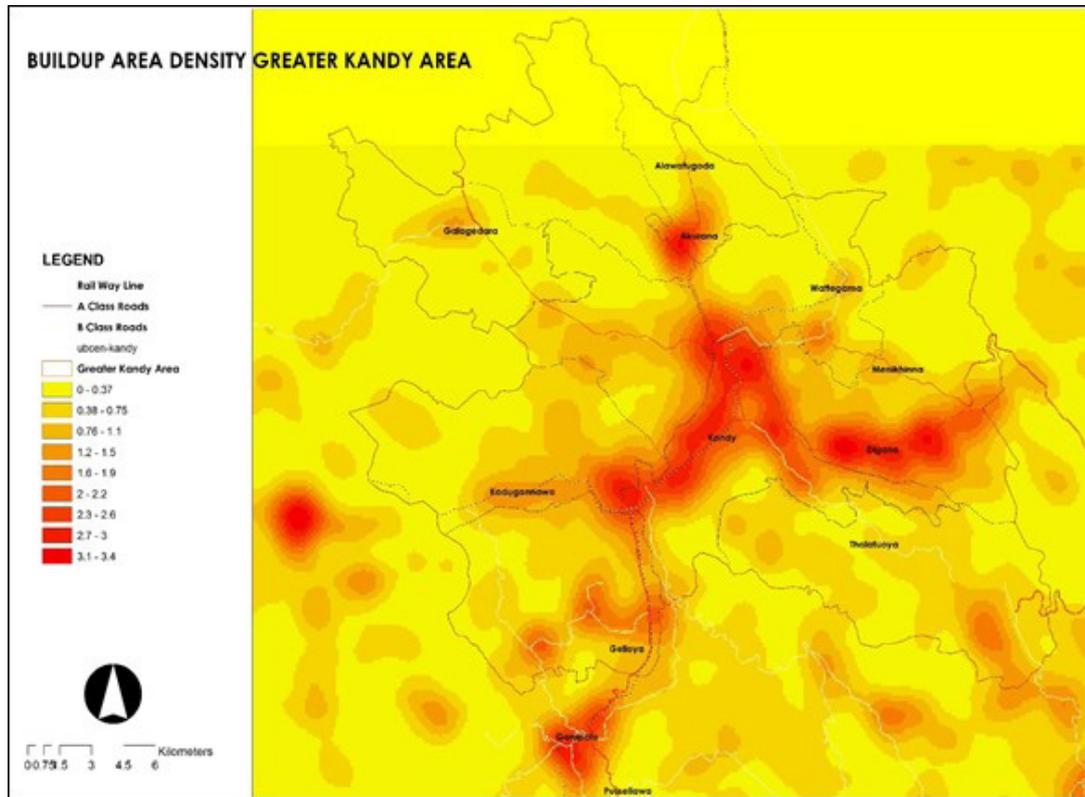
### Annexure 13: Distribution of Population density within Study Area - 2012



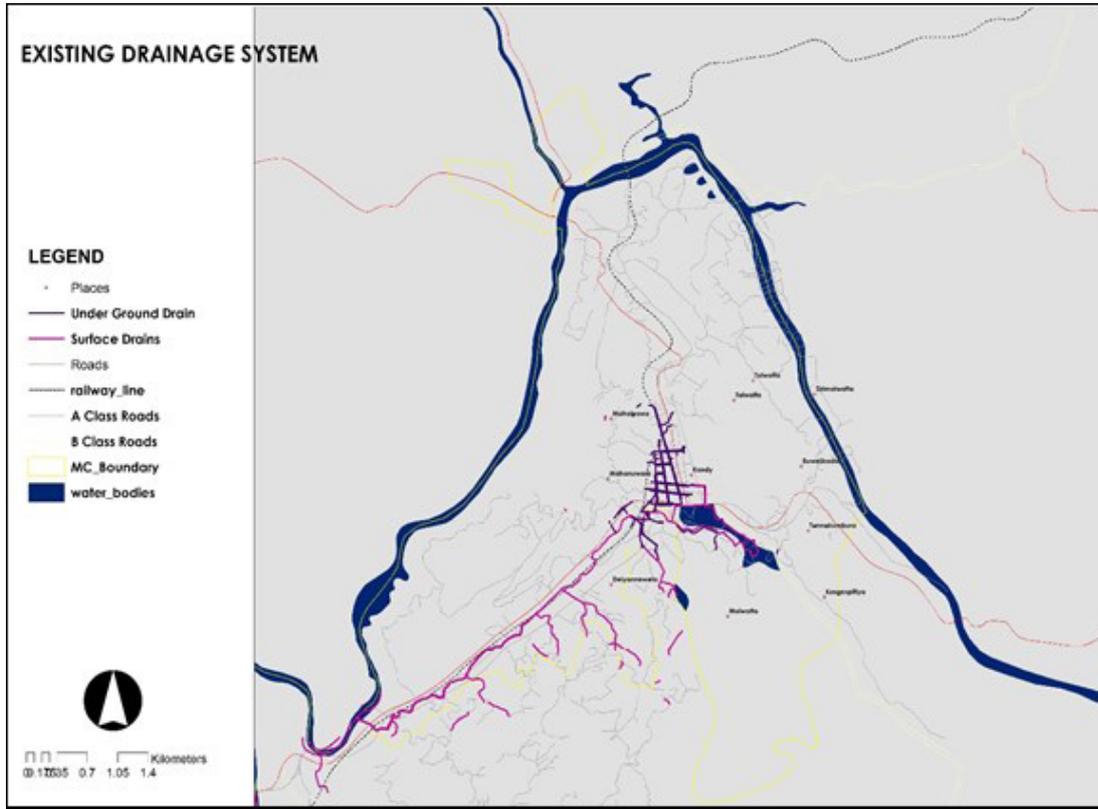
## Annexure 14: Low income settlement distribution within Kandy MC area



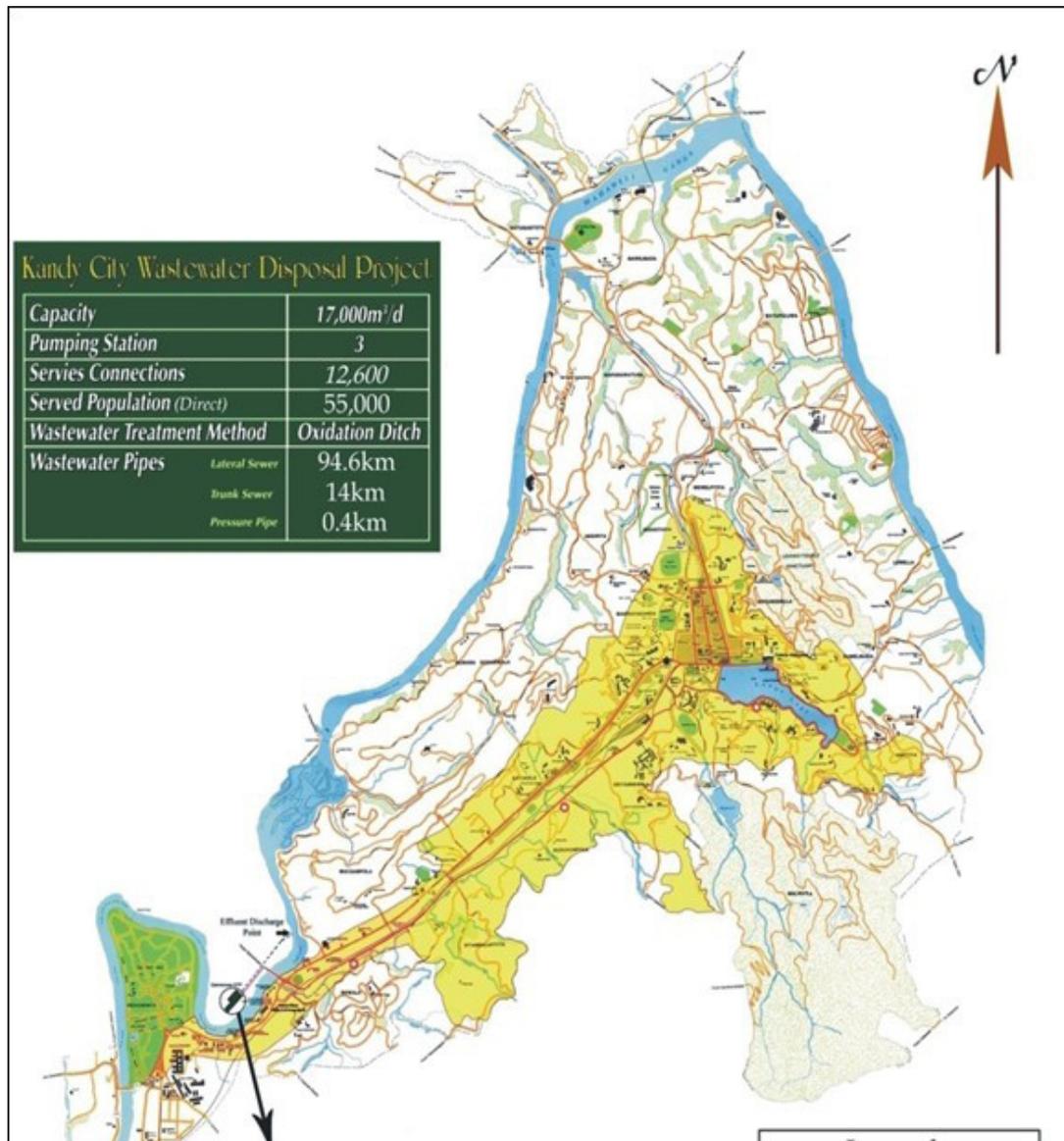
## Annexure 15: Built-up Density within Study Area



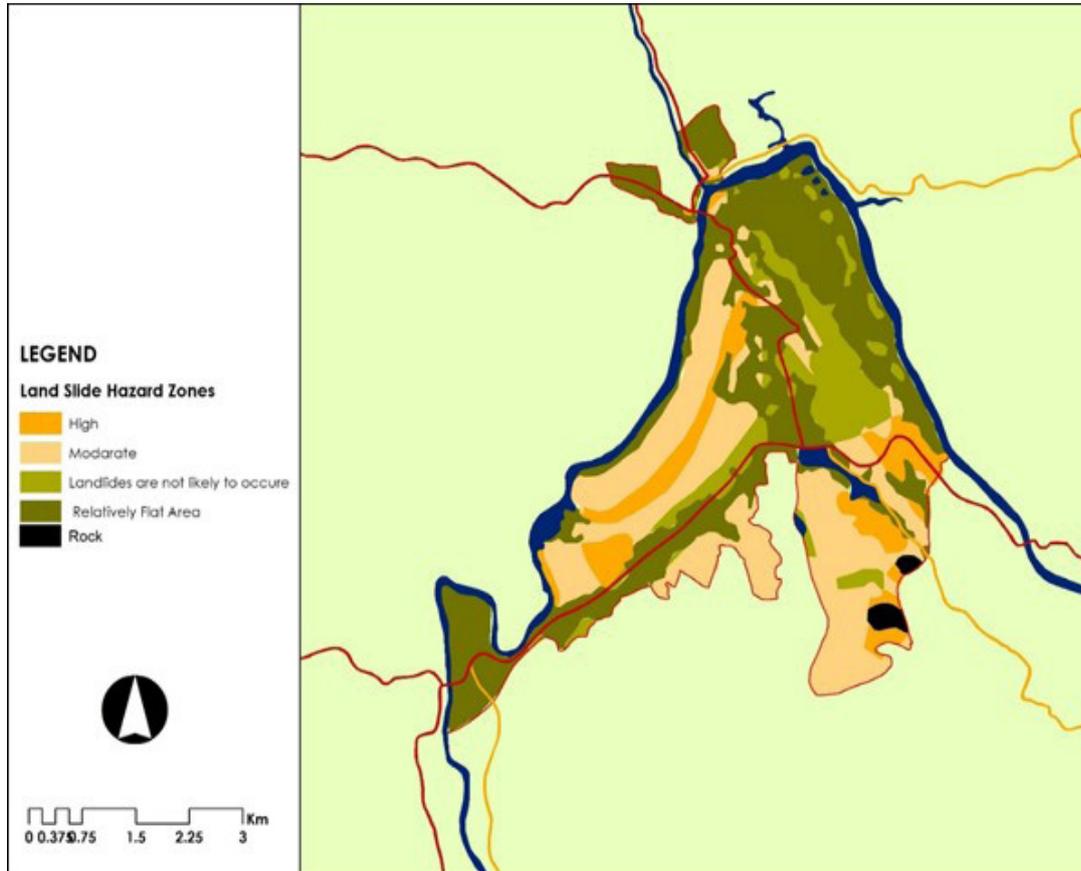
## Annexure 16: Existing Drainage Network of Kandy MC Area



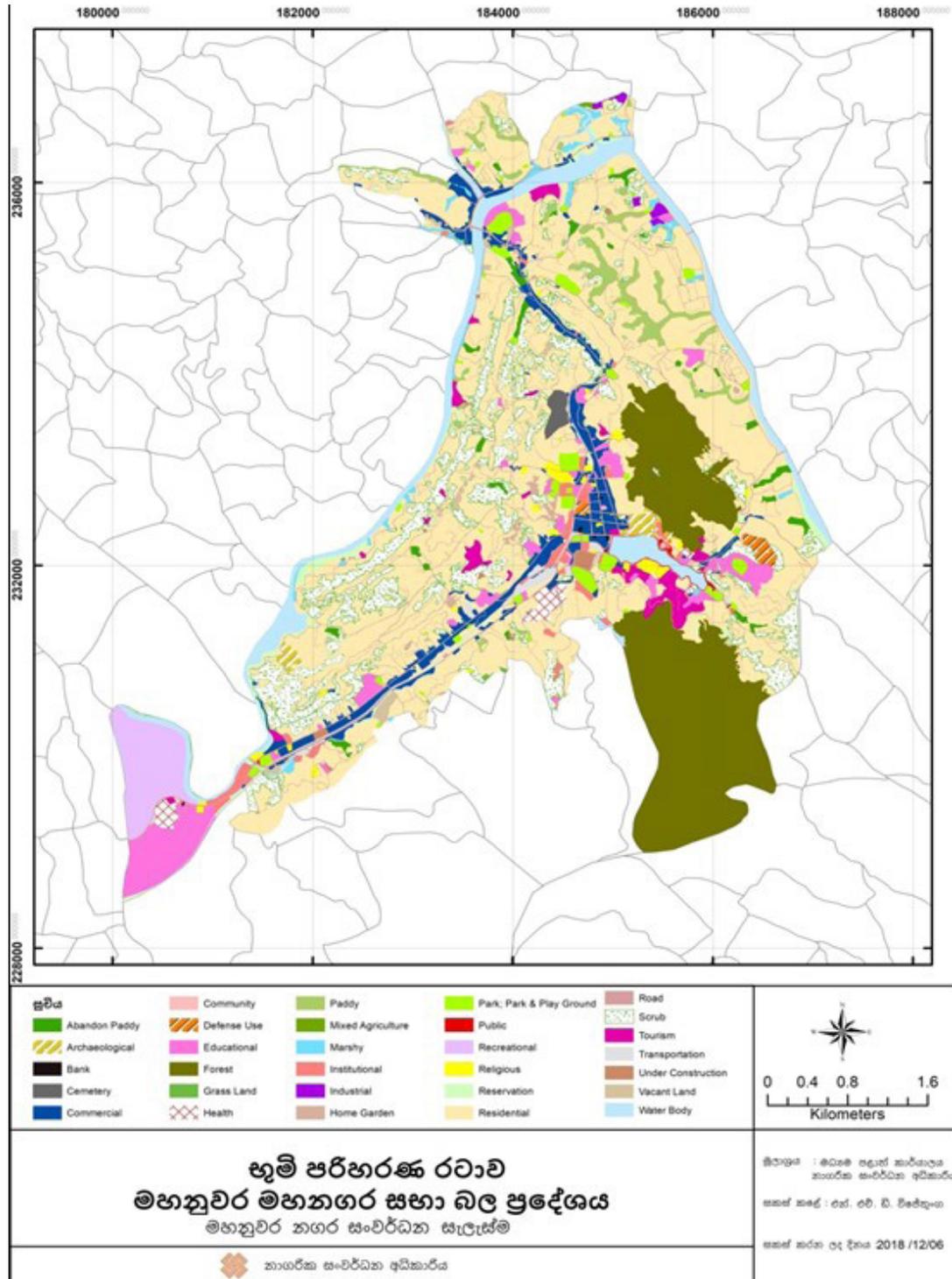
## Annexure 17: Undergoing Waste water management project



## Annexure 18: Landslide Prone Areas within Kandy MC area

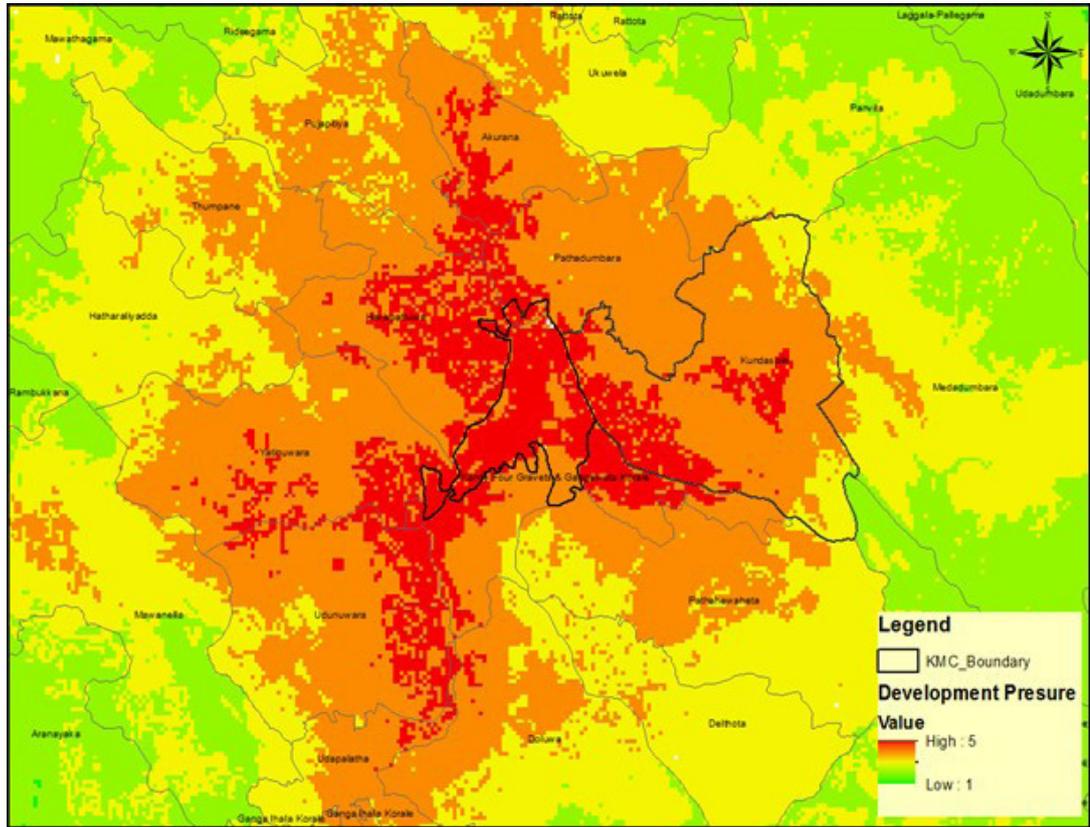


### Annexure 19: Land use distribution of Kandy MC Area





## Annexure 21: Development Pressure within Study Area





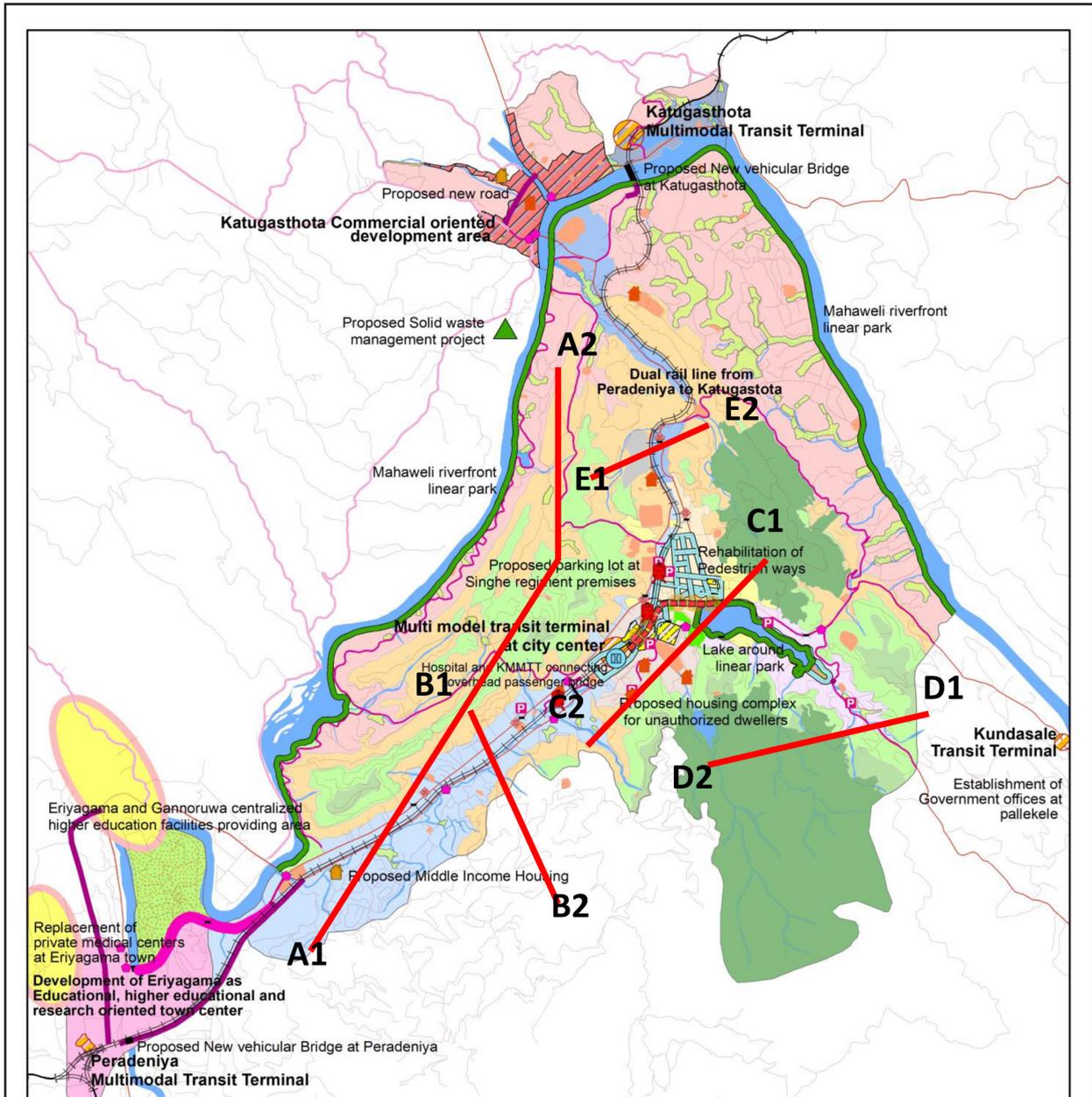
## Annexure 23: Summary of Stakeholders meeting Problems Arises through Stakeholder's Meetings

- A. Gradually depreciation of archaeological and architectural values available in the city.
- B. Expansion of urbanization along main roads which link with the city and environmental sensitive areas
- C. Bus stands spared over the city.
- D. Lack of parking spaces and vehicle parking both sides of the roads.
- E. Lack of pedestrian oriented environment in the city centre.
- F. Insufficient lands for recreational activities.
- G. Unbearable Traffic Congestion
- H. Ad hoc expansion of development activities.
- I. Adverse effects on environmental sensitive areas and water network
- J. Air Pollution

The above problems were identified at the meeting and analyzed & prioritized by using Delphi method.

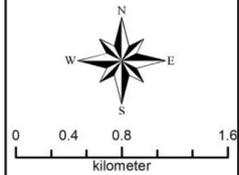
Expert	Problems identified at the stakeholders' meeting									
	A	B	C	D	E	F	G	H	I	J
Director (Central Province) UDA	10	1	3	2	4	5	9	6	8	7
Dy. Director (Planning) UDA	7	2	1	5	3	4	8	6	9	10
Asst. Director (Planning) UDA	8	2	1	3	4	5	7	9	10	6
Dy. Director (Lands) UDA	10	7	4	3	5	6	8	2	9	1
Environmental Planner	9	5	6	1	2	3	10	4	8	7
Town Planner	9	4	2	1	3	8	7	5	10	6
Planning Officer I UDA	10	2	1	7	6	3	5	4	8	9
Planning Officer II UDA	10	1	4	2	5	3	8	6	7	9
Planning Officer III UDA	9	3	5	1	2	4	7	8	10	6
Planning Officer IV UDA	10	2	6	3	1	4	9	5	7	8
<b>Total</b>	<b>92</b>	<b>29</b>	<b>33</b>	<b>28</b>	<b>35</b>	<b>45</b>	<b>78</b>	<b>55</b>	<b>86</b>	<b>69</b>
<b>Grade</b>	<b>1</b>	<b>10</b>	<b>8</b>	<b>9</b>	<b>7</b>	<b>6</b>	<b>3</b>	<b>5</b>	<b>2</b>	<b>4</b>

### Annexure 24: Cross section of Proposed Land Use plan



**Legend**

- +— Railway line
- Proposed roads to be develop within the city
- Proposed roads to be develop in outer city
- ▨ Adaptive reuse projects
- ▨ Multimodal transit terminal
- ▨ Development of central market
- ▨ Eriyagama and Gannoruwa centralized higher education facilities providing area
- ▨ Low income housing development area
- ▨ Katugasthota special commercial zone
- ▨ Peradeniya health services area
- ▨ Peradeniya health services area
- ▨ Pedestrian path to be rehabilitate
- ▨ Proposed new rail station
- ▨ Proposed new roads
- ▨ Katugasthota and Peradeniya new bridges
- ▨ New underpass for pedestrian
- ▨ Solid waste management site
- ▨ Proposed pedestrian junctions to be develop
- ▨ Conserved Forest
- ▨ Cemetery
- ▨ Park
- ▨ Playground
- ▨ Water Body
- ▨ Conserved low line lands
- ▨ Peradeniya botanical garden
- ▨ Pedestrian overhead cross
- ▨ Junction improvement
- ▨ Proposed parking area
- ▨ Linear park
- ▨ Spiritual lane

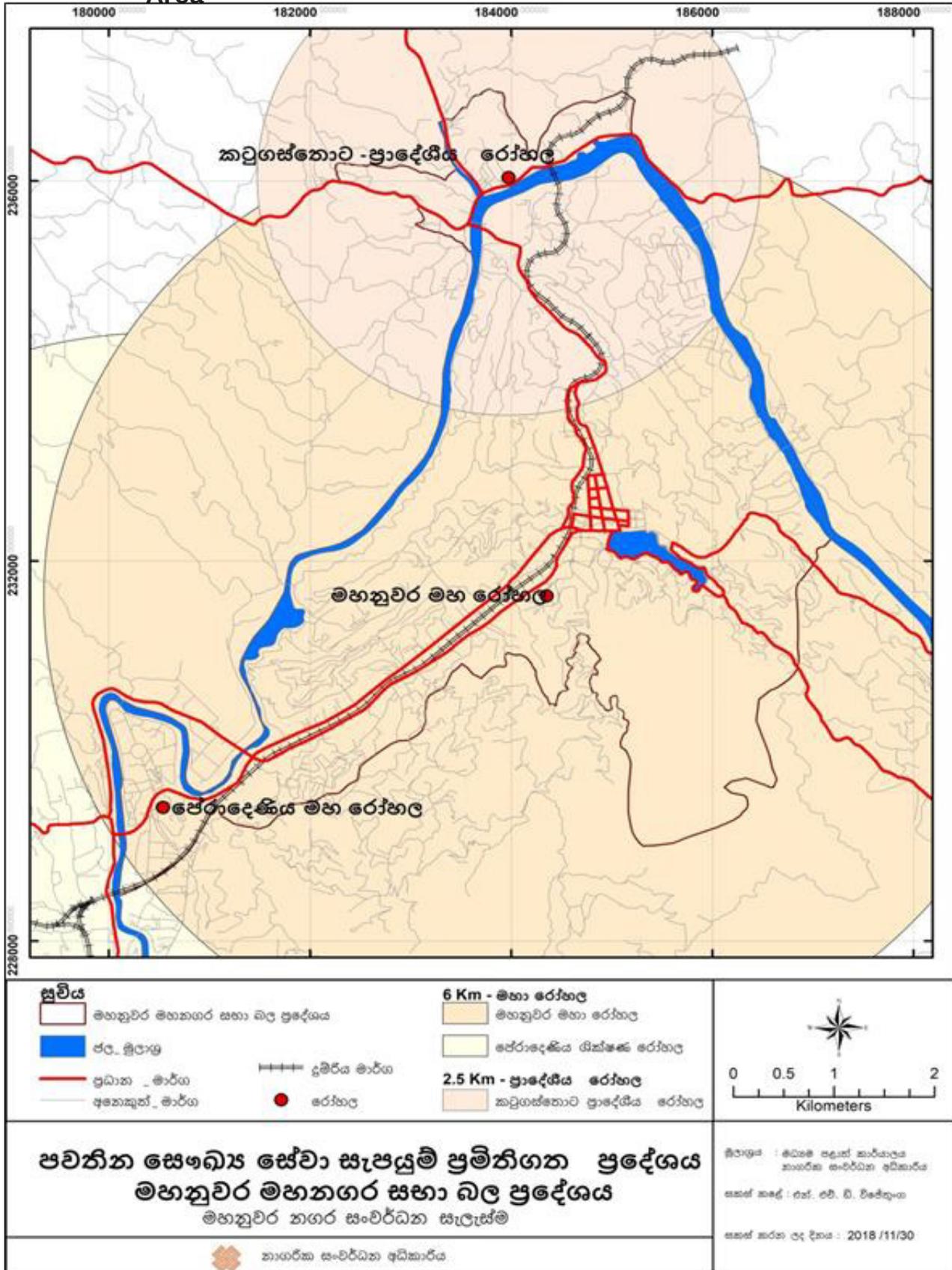


**PROPOSED LANDUSE PLAN  
KANDY MUNICIPAL COUNCIL AREA  
Kandy Urban Area Development Plan**

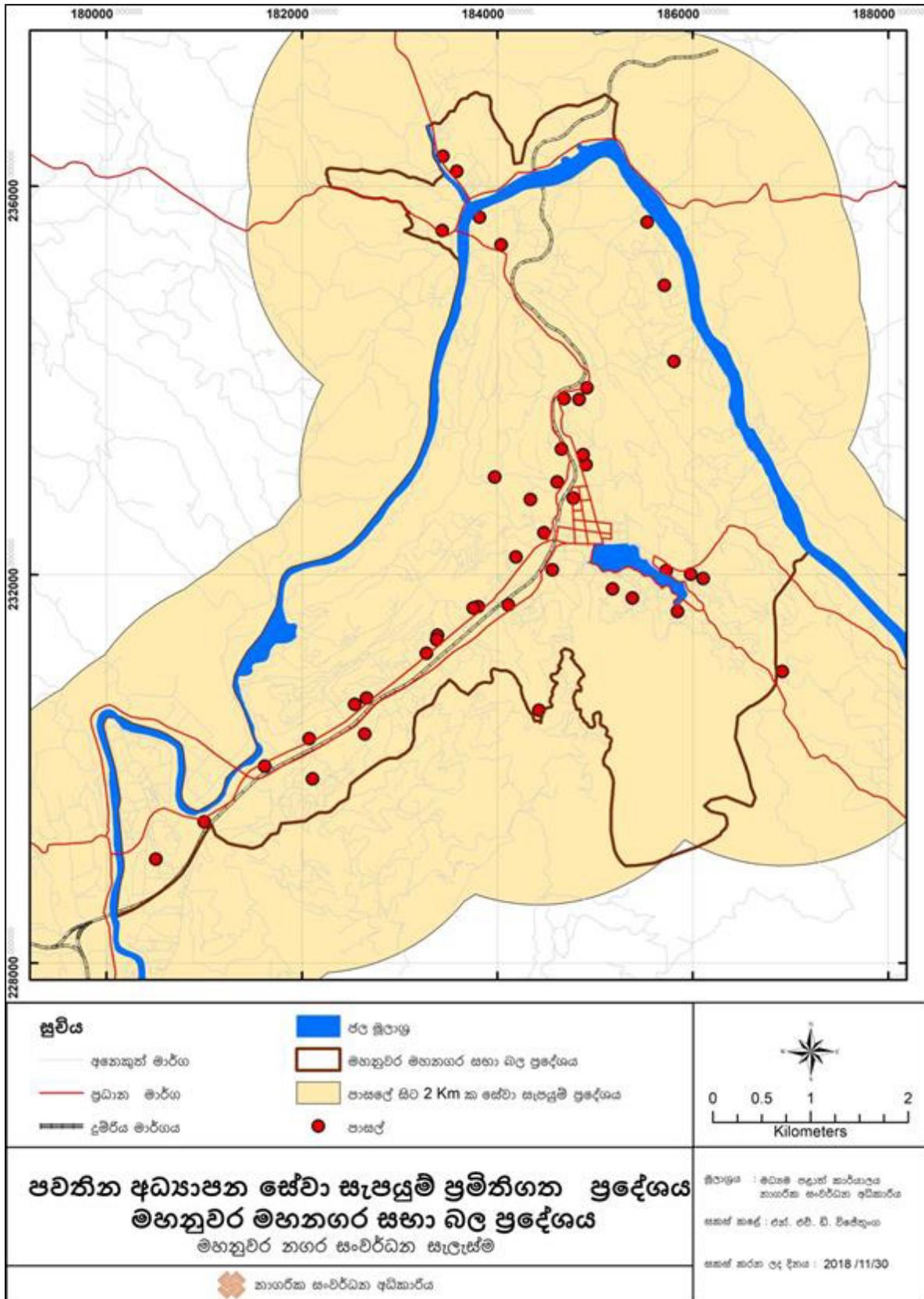
**URBAN DEVELOPMENT AUTHORITY**

Source: Central Provincial Office  
Urban Development Authority  
Prepared by : N.H.D. Wijethunga  
Prepared Date : 2020/8/13

### Annexure 25: Existing Standardized Health Service Supplying Area

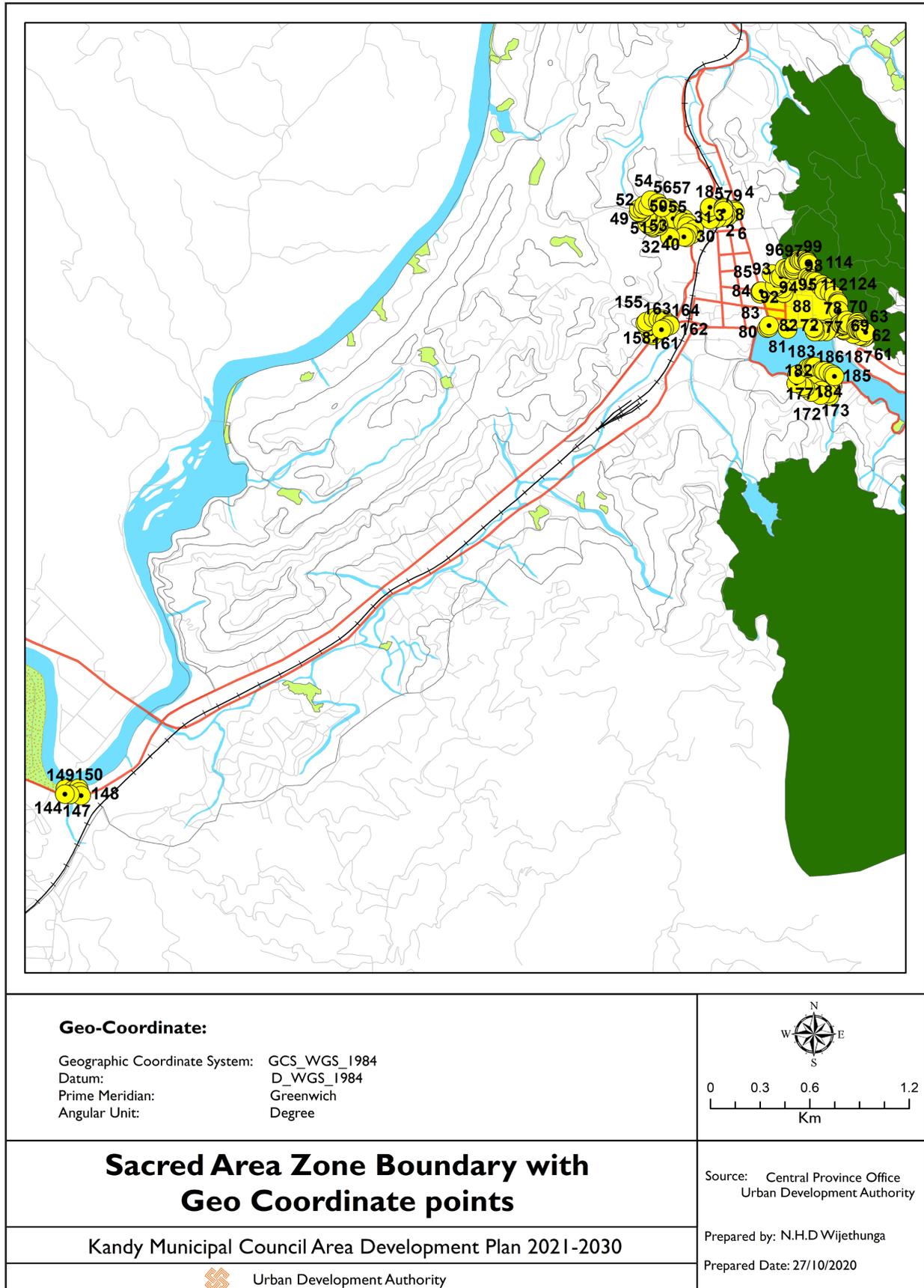


## Annexure 26: Existing Standardized Educational Service Supplying Area



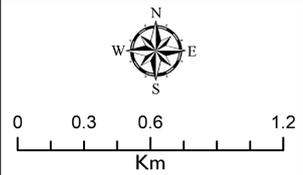


## Annexure 28: Sacred Area Zone boundary



**Geo-Coordinate:**

Geographic Coordinate System: GCS\_WGS\_1984  
 Datum: D\_WGS\_1984  
 Prime Meridian: Greenwich  
 Angular Unit: Degree



### Sacred Area Zone Boundary with Geo Coordinate points

Kandy Municipal Council Area Development Plan 2021-2030

 Urban Development Authority

Source: Central Province Office  
 Urban Development Authority

Prepared by: N.H.D Wijethunga

Prepared Date: 27/10/2020

## Sacred Area Zone boundary

This Zone comprises with the Extraordinary Gazette Notification No. 301 dated 08th June 1984 on the Temple of the Tooth and its accompanying facilities Uposita and Pushparama Temples belonging to the Malwatta Chapter and the Bhayagiri and Wijesundararama Temples belonging to the Asgiriya Chapter and its accompanying area, land belong to Getambe Rajamaha Viharaya And Sri Selver Vinayagar Kovil and its premises and area demarcated by the Geographic Coordinate point No. 58 to No. 80 and from there onwards along the D. S. Senanayake Veediya to No. 85 Geographic Coordinate point, and from there onwards along Raja Veediya to No. 87 Geographic Coordinate point, and from there to No. 142 Geographic Coordinate point and up to No. 58 Geographic Coordinate point.

Geo Coordinate point	X Coordinate	Y Coordinate
1	80.636203	7.299433
2	80.636214	7.299402
3	80.636603	7.299494
4	80.636633	7.299409
5	80.636234	7.299323
6	80.636238	7.299157
7	80.636104	7.29917
8	80.636103	7.299193
9	80.636002	7.299217
10	80.635978	7.299101
11	80.63565	7.299036
12	80.635302	7.298967
13	80.635254	7.299401
14	80.635278	7.299642
15	80.63528	7.299642
16	80.636017	7.299635
17	80.636021	7.299574
18	80.636017	7.299439
19	80.633062	7.299584
20	80.633119	7.299479
21	80.633143	7.299292
22	80.633279	7.299018

23	80.633871	7.299
24	80.633816	7.298831
25	80.634082	7.29877
26	80.634028	7.298605
27	80.634421	7.298424
28	80.634271	7.298153
29	80.634102	7.298245
30	80.633995	7.29799
31	80.633868	7.298026
32	80.633113	7.29799
33	80.632222	7.298519
34	80.632216	7.298523
35	80.632498	7.29861
36	80.632463	7.298733
37	80.632257	7.298676
38	80.632232	7.298769
39	80.63206	7.298723
40	80.632091	7.298594
41	80.631967	7.298678
42	80.631882	7.298759
43	80.632069	7.299042
44	80.631915	7.299155
45	80.631853	7.299075
46	80.631579	7.29932

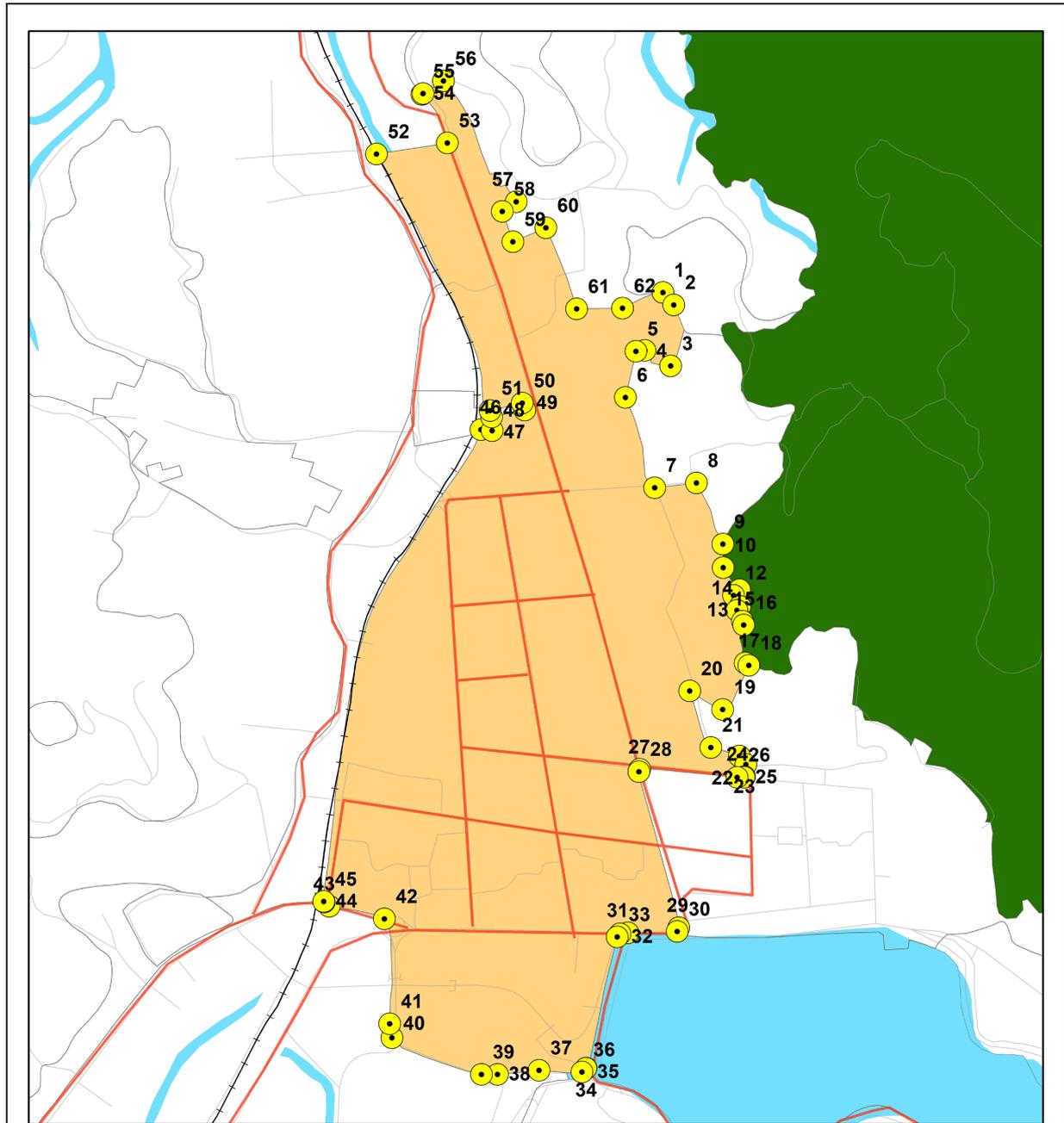
47	80.631567	7.299326
48	80.631413	7.299357
49	80.631414	7.299375
50	80.631427	7.299549
51	80.631643	7.299546
52	80.631711	7.299747
53	80.631919	7.299686
54	80.632064	7.300022
55	80.632459	7.299868
56	80.632615	7.299673
57	80.632687	7.299636
58	80.64373	7.292796
59	80.643735	7.292658
60	80.643711	7.292572
61	80.643645	7.29253
62	80.643531	7.292596
63	80.643414	7.292605
64	80.643072	7.292698
65	80.642556	7.292897
66	80.642512	7.292947
67	80.642456	7.293128
68	80.642418	7.293176
69	80.642372	7.293178
70	80.642286	7.293136
71	80.641958	7.293033
72	80.641724	7.293019
73	80.641589	7.29285
74	80.641275	7.292956
75	80.641261	7.29285
76	80.640978	7.292831
77	80.640959	7.293018
78	80.640901	7.293051
79	80.639496	7.29298
80	80.638388	7.293023
81	80.638474	7.293058
82	80.638493	7.29317

83	80.638024	7.294905
84	80.638022	7.295033
85	80.638062	7.295045
86	80.63928	7.294934
87	80.639286	7.294943
88	80.639225	7.295195
89	80.63888	7.295299
90	80.638804	7.295388
91	80.638624	7.295988
92	80.639023	7.295762
93	80.639135	7.295844
94	80.639339	7.296298
95	80.639529	7.296238
96	80.639611	7.296238
97	80.639765	7.296184
98	80.639862	7.296263
99	80.639817	7.296423
100	80.639848	7.296521
101	80.640082	7.296776
102	80.640146	7.296722
103	80.640258	7.296708
104	80.640365	7.296766
105	80.640548	7.296742
106	80.640576	7.296669
107	80.640578	7.296664
108	80.640594	7.296644
109	80.640643	7.296655
110	80.640587	7.295821
111	80.64071	7.295742
112	80.640742	7.295629
113	80.640886	7.295618
114	80.641015	7.295566
115	80.641275	7.295363
116	80.641294	7.295316
117	80.64134	7.29542
118	80.641552	7.295278

119	80.641472	7.295094
120	80.641784	7.295005
121	80.642005	7.294796
122	80.642218	7.294495
123	80.642194	7.294392
124	80.642258	7.294386
125	80.642274	7.293985
126	80.642358	7.293277
127	80.642448	7.293212
128	80.642566	7.293223
129	80.642649	7.29332
130	80.642638	7.293431
131	80.642703	7.293449
132	80.642843	7.293281
133	80.643285	7.293367
134	80.64335	7.293256
135	80.643271	7.293209
136	80.643213	7.293094
137	80.643231	7.29294
138	80.643321	7.292915
139	80.643429	7.292951
140	80.643508	7.292922
141	80.643598	7.29285
142	80.64373	7.292796
143	80.600278	7.267554
144	80.60031	7.26784
145	80.600713	7.267762
146	80.601012	7.267868
147	80.601062	7.267671
148	80.601149	7.267469
149	80.600546	7.267523
150	80.600278	7.267554
151	80.632189	7.292633
152	80.632082	7.292734
153	80.631869	7.293132
154	80.631775	7.293309

155	80.63185	7.293392
156	80.632224	7.293577
157	80.63248	7.293538
158	80.632485	7.293538
159	80.632712	7.293509
160	80.632841	7.293437
161	80.633097	7.293237
162	80.633106	7.293179
163	80.6328	7.293026
164	80.63265	7.292949
165	80.642039	7.290396
166	80.641926	7.289883
167	80.641832	7.289704
168	80.641804	7.289542
169	80.641781	7.289315
170	80.641683	7.289449
171	80.64133	7.289613
172	80.641285	7.289368
173	80.640784	7.289535
174	80.640441	7.289777
175	80.64032	7.289861
176	80.63997	7.290014
177	80.640018	7.290485
178	80.640594	7.290848
179	80.640784	7.290927
180	80.640901	7.29094
181	80.640979	7.290927
182	80.641387	7.290719
183	80.641477	7.290688
184	80.641724	7.290607
185	80.641949	7.290491
186	80.642039	7.290396
187	80.642039	7.290396

## Annexure 29: Heritage Area Zone boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984          Datum: D_WGS_1984          Prime Meridian: Greenwich          Angular Unit: Degree</p>	
<h3>Heritage Area Zone Boundary with Geo Coordinate points</h3>	<p>Source: Central Province Office Urban Development Authority</p>
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>	<p>Prepared by: N.H.D Wijethunga</p>
	<p>Prepared Date: 27/10/2020</p>

## Heritage Area Zone boundary

This is the region bounded by Geographic Coordinate Point No. 01 to No. 45 and from there to bordering the Railway line to Geographic Coordinate Point No. 46 and from there to Geographic Coordinate Point No. 47 to Geographic Coordinate Point No. 51 and from there to Geographic Coordinate No. 52 and from there to Geographic Coordinate point No. 53 and up to starting point.

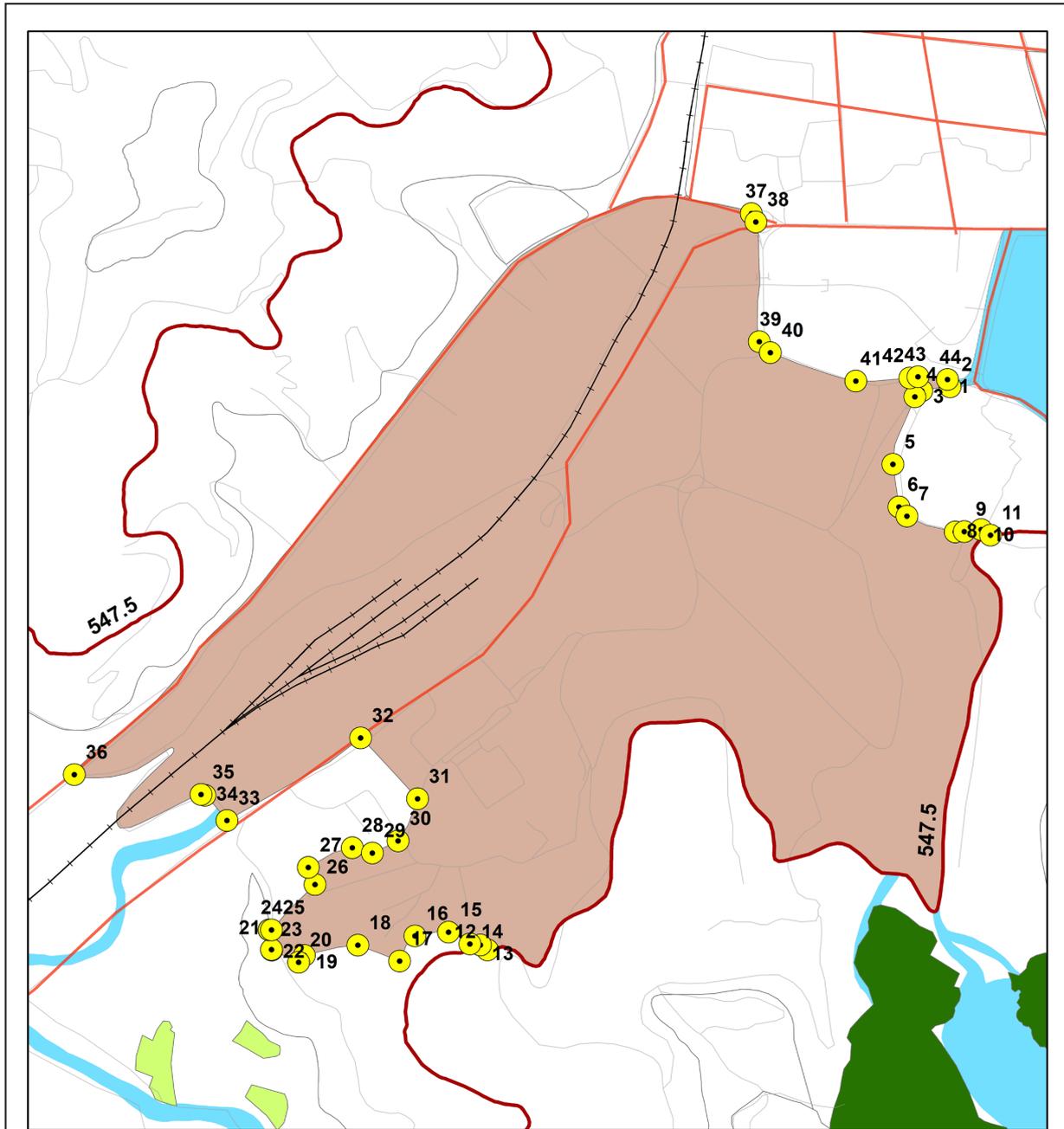
Geo Coordinate point	X Coordinate	Y Coordinate
1	80.638302	7.300839
2	80.638431	7.300689
3	80.638395	7.299946
4	80.638083	7.300136
5	80.637975	7.300125
6	80.637849	7.299561
7	80.638201	7.298462
8	80.638705	7.298521
9	80.639027	7.297776
10	80.639029	7.29749
11	80.639227	7.29722
12	80.639155	7.297152
13	80.639231	7.297016
14	80.639195	7.296969
15	80.639263	7.296836
16	80.639277	7.29679
17	80.639296	7.296327
18	80.639339	7.296298
19	80.639023	7.295762
20	80.638624	7.295988
21	80.63888	7.295299
22	80.639225	7.295195
23	80.639304	7.295091

24	80.639286	7.294943
25	80.63928	7.294934
26	80.639197	7.294936
27	80.638022	7.295033
28	80.638011	7.295003
29	80.638493	7.293102
30	80.638474	7.293058
31	80.637879	7.293041
32	80.637783	7.293028
33	80.63775	7.292992
34	80.637373	7.291394
35	80.637371	7.291391
36	80.637325	7.291346
37	80.636806	7.291366
38	80.636302	7.291316
39	80.63611	7.291317
40	80.635028	7.291763
41	80.635002	7.291933
42	80.634939	7.29321
43	80.634272	7.293364
44	80.634212	7.293417
45	80.634205	7.293423
46	80.636104	7.29917
47	80.636238	7.299157
48	80.636234	7.299323

49	80.636633	7.299409
50	80.636603	7.299494
51	80.636214	7.299402
52	80.634842	7.302526
53	80.635698	7.302662
54	80.635393	7.303253
55	80.635406	7.303265

56	80.635652	7.303418
57	80.636529	7.301947
58	80.636361	7.301827
59	80.63649	7.30146
60	80.636889	7.301628
61	80.637259	7.300642
62	80.637813	7.300649

### Annexure 30: Utility Services Zone boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984          Datum: D_WGS_1984          Prime Meridian: Greenwich          Angular Unit: Degree</p> <p style="text-align: center;">— 547.5 m Contour Line</p>	
<p><b>Utility Services Zone Boundary with Geo Coordinate points</b></p>	<p>Source: Central Province Office Urban Development Authority</p>
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>	<p>Prepared by: N.H.D.Wijethunga</p>
	<p>Prepared Date: 27/10/2020</p>

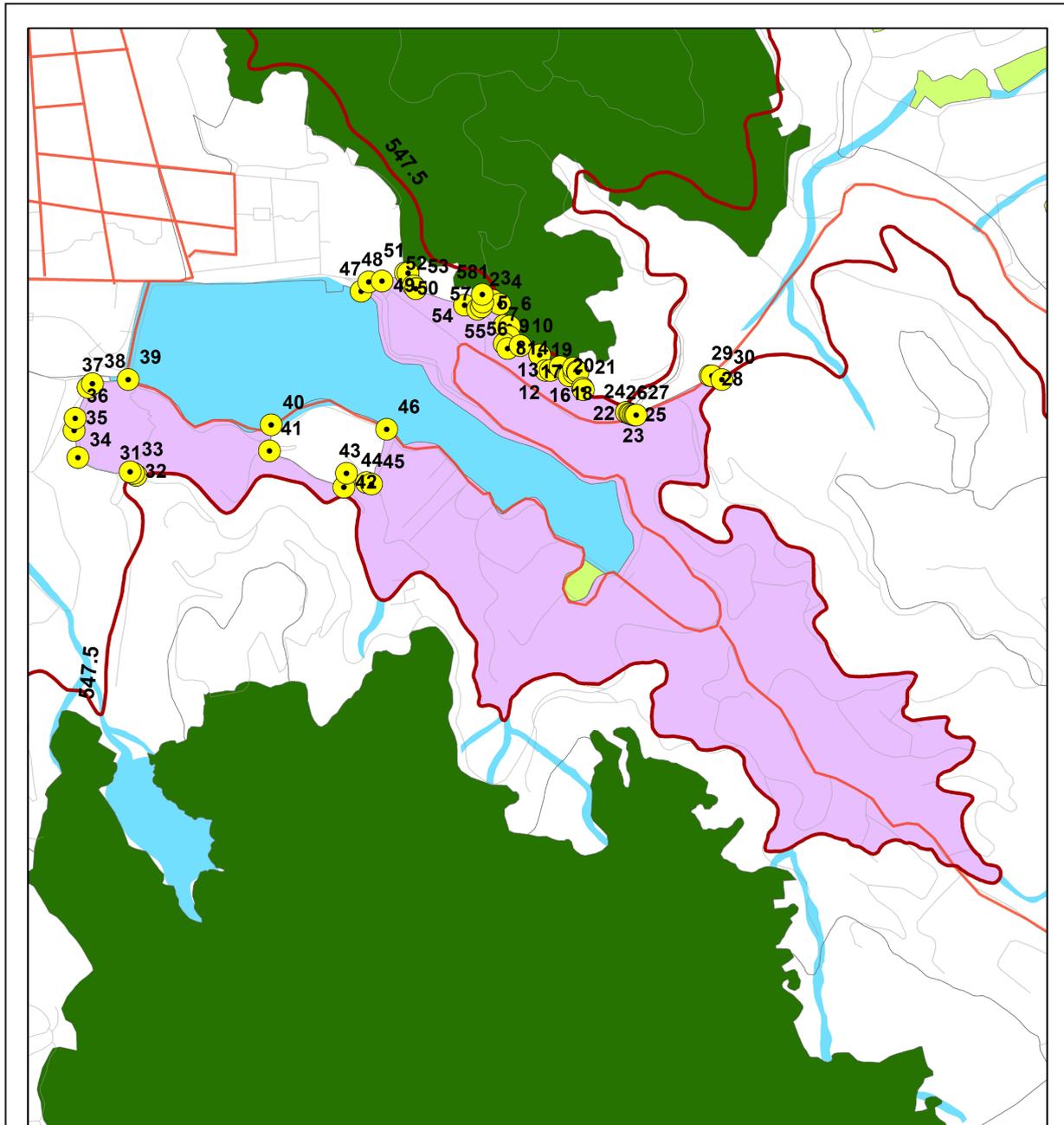
## Utility Services Zone boundary

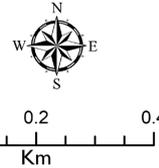
This is the region bounded by the Geographic Coordinate point No. 01 to No. 11 and from there along the Contour Line 547.5 meter to Geographic Coordinate point No. 12 and from there to Geographic Coordinate point No. 32 and from there along William Gopallawa Mawatha up to Geographic Coordinate point No. 33 and turn from there along Sambodhi Mawatha, to Geographic Coordinate point No. 36 at the Peradeniya Road, and from there along Peradeniya Road to Geographic Coordinate point No. 37 near the Kandy Clock Tower and from there through the Geographic Coordinate point No. 38 up to starting point no 01.

Geo Coordinate point	X Coordinate	Y Coordinate
1	80.637136	7.291336
2	80.637165	7.291252
3	80.636848	7.291207
4	80.63677	7.291139
5	80.636525	7.290377
6	80.636592	7.289895
7	80.636682	7.289791
8	80.637222	7.289613
9	80.637324	7.289618
10	80.637513	7.289641
11	80.637618	7.289576
12	80.631984	7.284891
13	80.631903	7.284948
14	80.631785	7.284959
15	80.631546	7.285093
16	80.63117	7.28505
17	80.630998	7.284766
18	80.63053	7.284945
19	80.62993	7.28483
20	80.629865	7.284751
21	80.629564	7.28489

22	80.629562	7.284895
23	80.629536	7.285118
24	80.629537	7.285118
25	80.629562	7.285117
26	80.630051	7.285631
27	80.629975	7.285824
28	80.630468	7.286047
29	80.630693	7.285986
30	80.63098	7.286123
31	80.631199	7.2866
32	80.63056	7.287286
33	80.629063	7.286354
34	80.628816	7.286637
35	80.628773	7.286647
36	80.627353	7.286871
37	80.634939	7.29321
38	80.634989	7.293114
39	80.635028	7.291763
40	80.635151	7.291639
41	80.63611	7.291317
42	80.636715	7.291353
43	80.636806	7.291366
44	80.637136	7.291336

### Annexure 31: Lake Round Zone boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984          Datum: D_WGS_1984          Prime Meridian: Greenwich          Angular Unit: Degree</p> <p style="text-align: center;"> <b>547.5 m Contour Line</b> </p>	
<p><b>Lake Around Zone Boundary with Geo Coordinate points</b></p>	
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>	
<p> Urban Development Authority</p>	

Source: Central Province Office  
Urban Development Authority

Prepared by: N.H.D.Wijethunga

Prepared Date: 27/10/2020

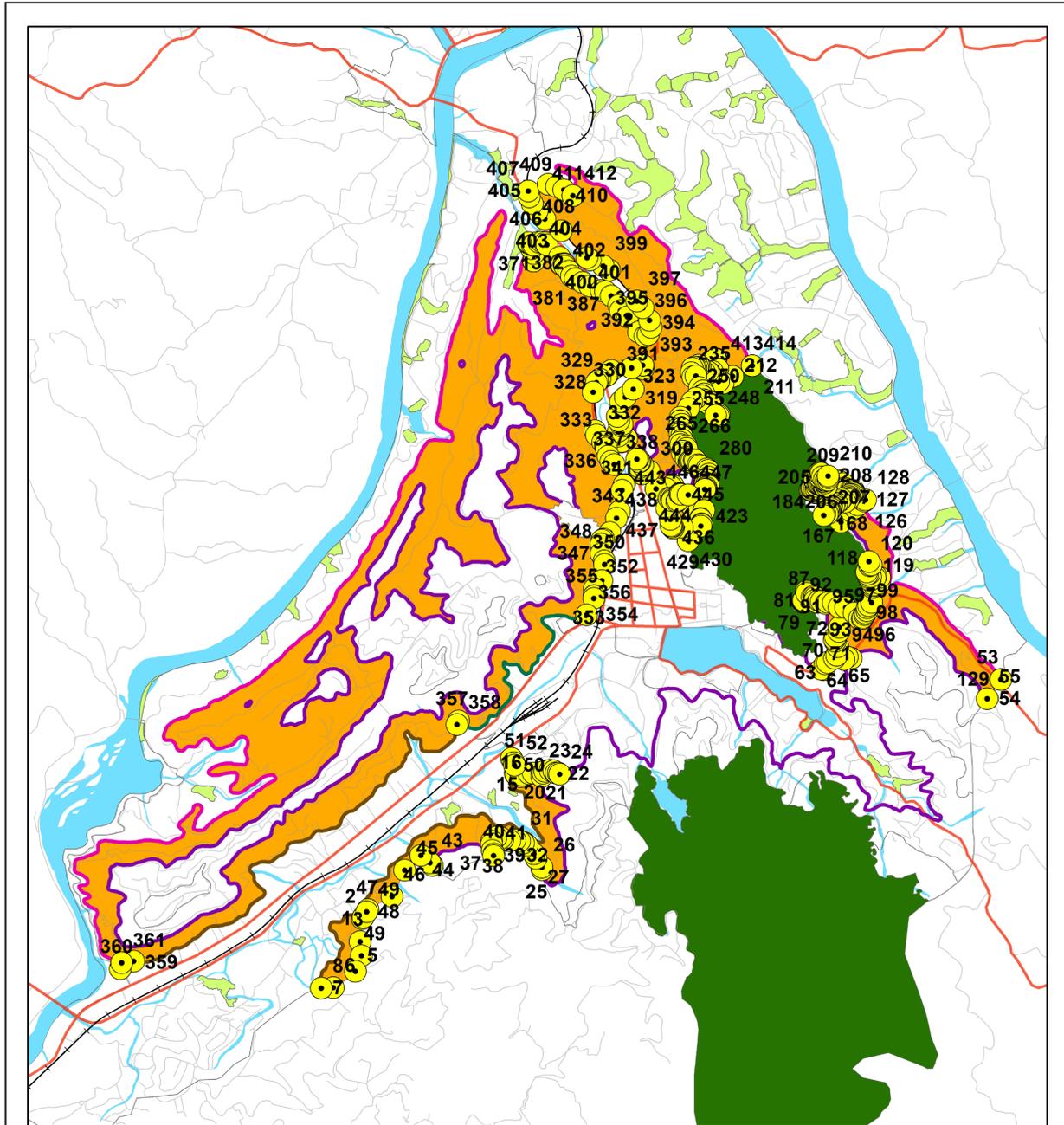
## Lake Round Zone boundary

This is the region bounded by Geographic Coordinate Point No. 01 to No. 30 and from there along the Contour Line 547.5 meters to Geographic Coordinate Point No. 31, and from there to Geographic Coordinate Point No 58. and from there up to starting point.

Geo Coordinate point	X Coordinate	Y Coordinate
1	80.64373	7.292796
2	80.643807	7.29266
3	80.643911	7.292689
4	80.644037	7.292621
5	80.644112	7.292244
6	80.644206	7.292229
7	80.644202	7.292043
8	80.644116	7.291917
9	80.644174	7.291831
10	80.644396	7.291885
11	80.644741	7.29172
12	80.644846	7.291444
13	80.644928	7.291444
14	80.645101	7.291508
15	80.645263	7.291347
16	80.645349	7.291397
17	80.645337	7.291484
18	80.645405	7.291426
19	80.645417	7.291413
20	80.645498	7.291131
21	80.64551	7.291101
22	80.646269	7.290698
23	80.646325	7.290679
24	80.64635	7.290668
25	80.64639	7.290652
26	80.646419	7.290646
27	80.646445	7.290649
28	80.647748	7.291351

29	80.647778	7.291347
30	80.647957	7.29128
31	80.637618	7.289576
32	80.637571	7.289614
33	80.637513	7.289641
34	80.636592	7.289895
35	80.636525	7.290377
36	80.636542	7.290592
37	80.63677	7.291139
38	80.636848	7.291207
39	80.637477	7.291282
40	80.640002	7.290476
41	80.63997	7.290014
42	80.641285	7.289368
43	80.64133	7.289613
44	80.641683	7.289449
45	80.641773	7.289422
46	80.642039	7.290396
47	80.641589	7.29285
48	80.641724	7.293019
49	80.641958	7.293033
50	80.642372	7.293178
51	80.642418	7.293176
52	80.642512	7.292947
53	80.642556	7.292897
54	80.643414	7.292605
55	80.643645	7.29253
56	80.643711	7.292572
57	80.643735	7.292658
58	80.64373	7.292796

### Annexure 32: Mixed Development Zone boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984 Datum: D_WGS_1984 Prime Meridian: Greenwich Angular Unit: Degree</p>	<p><b>Contour Line</b></p> <ul style="list-style-type: none"> <li><span style="color: magenta;">—</span> 487.5m</li> <li><span style="color: orange;">—</span> 500m</li> <li><span style="color: green;">—</span> 510 m</li> <li><span style="color: purple;">—</span> 547.5m</li> </ul>	
<h2>Mixed Development Zone Boundary with Geo Coordinate points</h2>		<p>Source: Central Province Office Urban Development Authority</p>
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>		<p>Prepared by: N.H.D Wijethunga</p>
		<p>Prepared Date: 27/10/2020</p>

## Mixed Development Zone boundary

This is the region bounded by Geographic Coordinate point No. 01 to No. 08 and from there along the 500-meter contour line to Geographic Coordinate point No. 09 and from there up to starting point and the area bounded by Geographic Coordinate point No. 10 to No. 24 and from there along the contour line 547.5 meter to Geographic Coordinate point No. 25 and from there to Geographic Coordinate point No. 41 and from there along the contour line of the 547.5 meters to Geographic Coordinate point No 42 and from there to Geographic Coordinate point No. 49 and from there along the 500 meter contour line to Geographic Coordinate point No. 50 and from there up to starting point and the area bounded by Geographic Coordinate point No. 53 to No 55 and from there along the contour line 547.5 meter to Geographic Coordinate point No. 56 and from there to Geographic Coordinate point No. 72 and from there along the contour line 547.5 meter to Geographic Coordinate point No 73 and to Geographic Coordinate point No. 120 and from there along the contour line 547.5 meter to Geographic Coordinate point No. 121 and from there to Geographic Coordinate point No. 128 and from there along contour line 487.5 meter to Geographic Coordinate point No. 129 and from there up to starting point and the area bounded by the Geographic Coordinate point No. 130 along the 487.5 meter contour line to Geographic Coordinate point No. 144 and to Geographic Coordinate point No. 168 and there along the contour line 547.5 meter to Geographic Coordinate point No. 169 and from there up to starting point and the area bounded by Geographic Coordinate point No. 211 to Geographic Coordinate point No. 294 and from there along contour line 547.5 meter to Geographic Coordinate point No. 295 and to Geographic Coordinate point No. 356 and there along the contour line 510 meter to Geographic Coordinate point No. 357 and from there to No. 358 Geographic Coordinate point and there along the 500 meter contour line to Geographic Coordinate point No. 359 from there to Geographic Coordinate point No. 361 and then along the 487.5 meter contour line to Geographic Coordinate point no 362 and there along Geographic Coordinate point No 412 and from there along the contour line 487.5 meter and up to the starting point and the area bounded by the Geographic Coordinate point from No. 415 to No. 430 and up to Geographic Coordinate point No. 415 except Environment Zone I, Environment Zone II, Sacred Area and Zone all areas other than protected forests.

Geo Coordinate point	X Coordinate	Y Coordinate
1	80.621209	7.276981
2	80.621161	7.276904
3	80.621042	7.275636

4	80.62111	7.274862
5	80.620779	7.273997
6	80.619557	7.2731
7	80.618904	7.27307
8	80.618904	7.27307

9	80.621209	7.276981
10	80.629549	7.284953
11	80.629562	7.284895
12	80.629564	7.28489
13	80.629865	7.284751
14	80.62993	7.28483
15	80.630304	7.28492
16	80.63053	7.284945
17	80.630998	7.284766
18	80.631069	7.284942
19	80.63117	7.28505
20	80.631457	7.285104
21	80.631656	7.285065
22	80.631785	7.284959
23	80.631903	7.284948
24	80.631984	7.284891
25	80.631015	7.279614
26	80.631007	7.27975
27	80.630689	7.280242
28	80.630573	7.280484
29	80.630191	7.280959
30	80.629993	7.281084
31	80.629771	7.2812
32	80.629523	7.281257
33	80.629244	7.281217
34	80.628856	7.281297
35	80.628766	7.281366
36	80.628487	7.281416
37	80.628248	7.281187
38	80.628248	7.281028
39	80.628288	7.28068
40	80.628379	7.280472

41	80.628359	7.280394
42	80.624993	7.279848
43	80.624874	7.279992
44	80.624371	7.280399
45	80.623485	7.279585
46	80.62279	7.278125
47	80.621472	7.277407
48	80.621396	7.277284
49	80.621396	7.277284
50	80.629344	7.285763
51	80.629461	7.28552
52	80.629503	7.285378
53	80.656166	7.290113
54	80.655421	7.289053
55	80.655421	7.289053
56	80.647963	7.291285
57	80.647957	7.29128
58	80.647748	7.291351
59	80.647565	7.291211
60	80.646445	7.290649
61	80.646325	7.290679
62	80.646545	7.290971
63	80.646668	7.291054
64	80.647054	7.291283
65	80.647171	7.291448
66	80.64722	7.291923
67	80.647077	7.292221
68	80.647044	7.292335
69	80.647044	7.292336
70	80.647098	7.292475
71	80.64729	7.292761
72	80.647309	7.292987

73	80.645343	7.294369
74	80.645343	7.294369
75	80.645355	7.294372
76	80.645381	7.294412
77	80.64538	7.294462
78	80.64535	7.294474
79	80.645351	7.294474
80	80.645499	7.294982
81	80.645524	7.294871
82	80.645819	7.29467
83	80.645923	7.294713
84	80.645981	7.294649
85	80.645959	7.294469
86	80.646121	7.294365
87	80.646204	7.294466
88	80.646329	7.294426
89	80.646592	7.294297
90	80.646696	7.294366
91	80.646982	7.294351
92	80.6473	7.294111
93	80.647662	7.294088
94	80.648126	7.293788
95	80.648417	7.293472
96	80.648573	7.293469
97	80.648609	7.293534
98	80.648708	7.293693
99	80.648735	7.29378
100	80.648824	7.29391
101	80.648842	7.29407
102	80.648921	7.29419
103	80.649091	7.294363
104	80.649134	7.295183

105	80.649159	7.295269
106	80.649232	7.295332
107	80.649499	7.295438
108	80.649521	7.295744
109	80.649313	7.295822
110	80.649271	7.295727
111	80.649004	7.295599
112	80.648936	7.295745
113	80.649025	7.29579
114	80.648956	7.295951
115	80.648848	7.295929
116	80.648812	7.296046
117	80.648972	7.296397
118	80.648972	7.296398
119	80.649058	7.296439
120	80.64894	7.296623
121	80.647407	7.2988
122	80.647407	7.298802
123	80.647943	7.299419
124	80.648179	7.299592
125	80.648327	7.299753
126	80.648604	7.300017
127	80.648694	7.299969
128	80.648745	7.30003
129	80.656166	7.290113
130	80.64669	7.301351
131	80.646691	7.30135
132	80.646918	7.301159
133	80.647152	7.301122
134	80.647353	7.301042
135	80.647502	7.300935
136	80.647595	7.300684

137	80.647587	7.300625
138	80.647579	7.300522
139	80.647579	7.300517
140	80.647641	7.300477
141	80.647965	7.30058
142	80.648023	7.300568
143	80.648102	7.300523
144	80.648139	7.300418
145	80.648098	7.300432
146	80.64805	7.300414
147	80.647981	7.300346
148	80.647885	7.300319
149	80.647844	7.300226
150	80.647856	7.300139
151	80.647814	7.300124
152	80.647808	7.300059
153	80.647625	7.299915
154	80.647424	7.300085
155	80.64734	7.299981
156	80.647164	7.299858
157	80.647035	7.299813
158	80.647008	7.299726
159	80.646882	7.299699
160	80.646855	7.29966
161	80.646852	7.299556
162	80.646795	7.299451
163	80.646756	7.299433
164	80.646697	7.299445
165	80.646604	7.299367
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167	80.646511	7.299257
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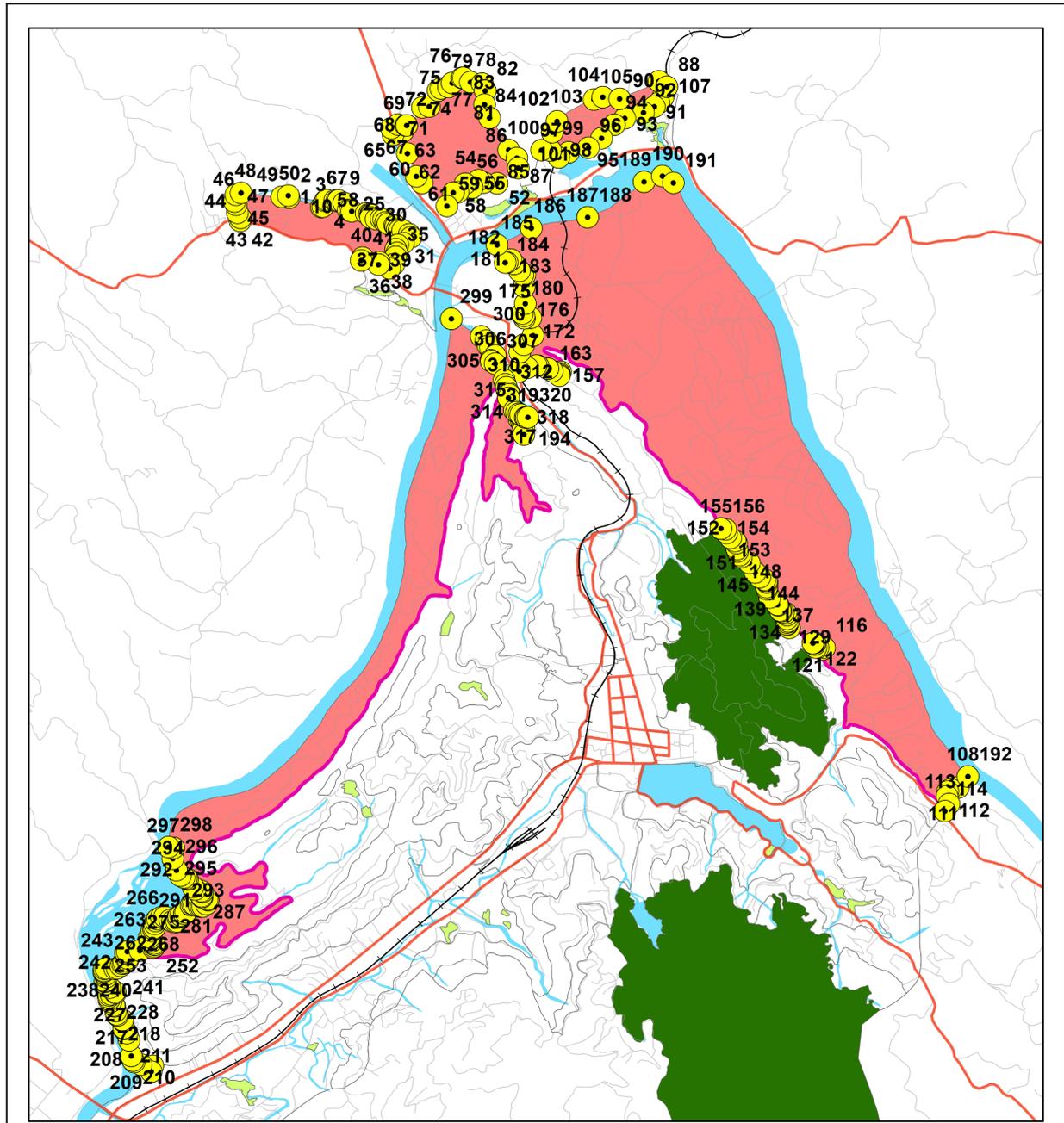
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351	80.634287	7.295577
352	80.633875	7.295107
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356	80.633458	7.293683
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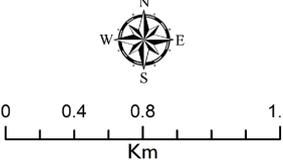
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367	80.630296	7.31423
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369	80.630559	7.3141
370	80.630832	7.314263
371	80.631013	7.314274
372	80.631184	7.31422
373	80.631285	7.314112
374	80.631971	7.313429
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376	80.632088	7.313023
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378	80.632259	7.313028
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381	80.632629	7.312385
382	80.632831	7.312236
383	80.633239	7.312042
384	80.633632	7.311841
385	80.634265	7.311587
386	80.63449	7.311537
387	80.634799	7.311293
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389	80.635315	7.310478
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391	80.636306	7.309295
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396	80.636547	7.310635
397	80.636212	7.31101
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399	80.634372	7.312945
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401	80.633473	7.313401
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409	80.631811	7.317328
410	80.632207	7.317146
411	80.632704	7.316822
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414	80.642541	7.30744
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417	80.639255	7.299892
418	80.639244	7.299717
419	80.639247	7.299642
420	80.639315	7.299528
421	80.639316	7.299525
422	80.639604	7.299439
423	80.639892	7.299457
424	80.639699	7.299001

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427	80.639759	7.29868
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429	80.639029	7.297809
430	80.639027	7.297776
431	80.638705	7.298521
432	80.638201	7.298462
433	80.638169	7.298548
434	80.638117	7.298544
435	80.638083	7.298607
436	80.638054	7.298959
437	80.637849	7.299561
438	80.637975	7.300125
439	80.638083	7.300136
440	80.638158	7.300068
441	80.638155	7.299985
442	80.638395	7.299946
443	80.638453	7.300014
444	80.638557	7.300384
445	80.638582	7.300353
446	80.638638	7.300336
447	80.639026	7.300311

### Annexure 33: Residential Zone boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984 Datum: D_WGS_1984 Prime Meridian: Greenwich Angular Unit: Degree</p>	<p><b>Contour Line</b></p> <p>— 487.5 m</p> 
<h2>Residential Zone Boundary with Geo Coordinate points</h2>	
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>	
 Urban Development Authority	

Source: Central Province Office  
Urban Development Authority

Prepared by: N.H.D Wijethunga

Prepared Date: 27/10/2020

## Residential Zone boundary

From Geographic Coordinate Point No. 01 to Geographic Coordinate Point No. 41 and along the Kandy - Galagedara Road to Geographic Coordinate Point No. 42 and from there the area bordering to Kandy Municipal Council boundary along Geographic Coordinate Point No. 50 from again to Geographic Coordinate point no. 01 and the area comprises from Geographic Coordinate point no 51 along the Geographic Coordinate point nos. 59,63,64,65 bordering to North of Kandy Municipal Council along the no. 79 Geographic Coordinate point bordering to eastern side of the Kandy municipal council limit along the No. 87 Geographic Coordinate point up to Geographic Coordinate point no 51 and along the Geographic coordinate point no. 88 to Geographic Coordinate point no. 100 bordering to north of Kandy Municipal limit of Geographic Coordinate point no. 106 and the area bounded along the Geographic Coordinate point no 107 up to Geographic Coordinate point no. 88 and from Geographic Coordinate point no. 108 bordering to southern boundary of Kandy municipal council up to Geographic Coordinate point no. 114 and the areas comprises of Theron wards along the contour line 487.5 meter up to 115 Geographic Coordinate point Theron wards up to 122 Geographic Coordinate point and Theron wards along the contour line of 487.5 meter up to 123 Geographic Coordinate point and Theron wards bordering to Udawattakele forest reserve up to 156 Geographic Coordinate point, Theron wards along the 487.5 meter contour line up to 157 Geographic coordinate point, Theron wards up to 185 Geographic coordinate point, Theron wards bordering to the north of Kandy Municipal Council up to 190 Geographic Coordinate point, there onwards, bordering to the eastern boundary of Kandy Municipal Council up to 192 Geographic Coordinate point and the area comprises Geographic Coordinate point no. 193 up to Geographic Coordinate point no. 204, there onwards along the contour line 487.5 meter up to 205 Geographic Coordinate point, there onwards along the 298 Geographic Coordinate point bordering to western side of Kandy Municipal Council limit up to 299 Geographic Coordinate point, Theron wards up to 193 Geographic Coordinate point.

Geo Coordinate point	X Coordinate	Y Coordinate
1	80.616214	7.327871
2	80.61626	7.327749
3	80.618225	7.327169
4	80.618308	7.327197
5	80.618465	7.327543
6	80.618551	7.327605

7	80.619035	7.327567
8	80.619169	7.327543
9	80.61926	7.327577
10	80.619591	7.327418
11	80.619859	7.326987
12	80.619969	7.326958
13	80.620079	7.326906
14	80.620951	7.326798

15	80.621167	7.32676
16	80.621229	7.326724
17	80.621253	7.326676
18	80.621229	7.326526
19	80.62156	7.326425
20	80.621859	7.326464
21	80.62202	7.326411
22	80.62214	7.326234
23	80.622277	7.326145
24	80.622703	7.32605
25	80.622765	7.325995
26	80.622859	7.325811
27	80.622962	7.325741
28	80.623175	7.325744
29	80.623573	7.325502
30	80.623676	7.325322
31	80.623206	7.324959
32	80.62288	7.324852
33	80.62276	7.324585
34	80.622826	7.324364
35	80.622751	7.324116
36	80.622638	7.323664
37	80.622382	7.323407
38	80.621762	7.323781
39	80.621705	7.323637
40	80.620734	7.324065
41	80.620653	7.323892
42	80.613294	7.32631
43	80.613307	7.326506
44	80.613122	7.326812
45	80.613036	7.327312
46	80.612943	7.327501

47	80.613024	7.327929
48	80.613343	7.32804
49	80.61582	7.327801
50	80.616214	7.327871
51	80.630203	7.329565
52	80.628922	7.328624
53	80.6281	7.32867
54	80.627785	7.328829
55	80.627401	7.328359
56	80.626973	7.328606
57	80.626532	7.328079
58	80.626252	7.328051
59	80.625871	7.327233
60	80.624348	7.328641
61	80.624009	7.329048
62	80.623462	7.33045
63	80.623192	7.331824
64	80.622599	7.331614
65	80.622491	7.33201
66	80.622884	7.33223
67	80.623359	7.332179
68	80.623415	7.332179
69	80.623421	7.332182
70	80.624374	7.333286
71	80.624789	7.333339
72	80.625337	7.334321
73	80.625502	7.334448
74	80.625958	7.334534
75	80.626179	7.334781
76	80.626777	7.335096
77	80.626855	7.3351
78	80.627303	7.334836

79	80.628008	7.334742
80	80.628192	7.334321
81	80.628196	7.334312
82	80.628195	7.334297
83	80.62816	7.333458
84	80.628457	7.332644
85	80.629625	7.330674
86	80.630125	7.330184
87	80.630203	7.329565
88	80.63925	7.334554
89	80.639005	7.333908
90	80.63876	7.333563
91	80.63848	7.333326
92	80.637822	7.332967
93	80.636689	7.332613
94	80.636053	7.332219
95	80.635279	7.331392
96	80.634479	7.330813
97	80.633268	7.330528
98	80.63267	7.330218
99	80.632177	7.330634
100	80.631622	7.330667
101	80.632271	7.331759
102	80.632572	7.332429
103	80.634811	7.333771
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106	80.638768	7.334892
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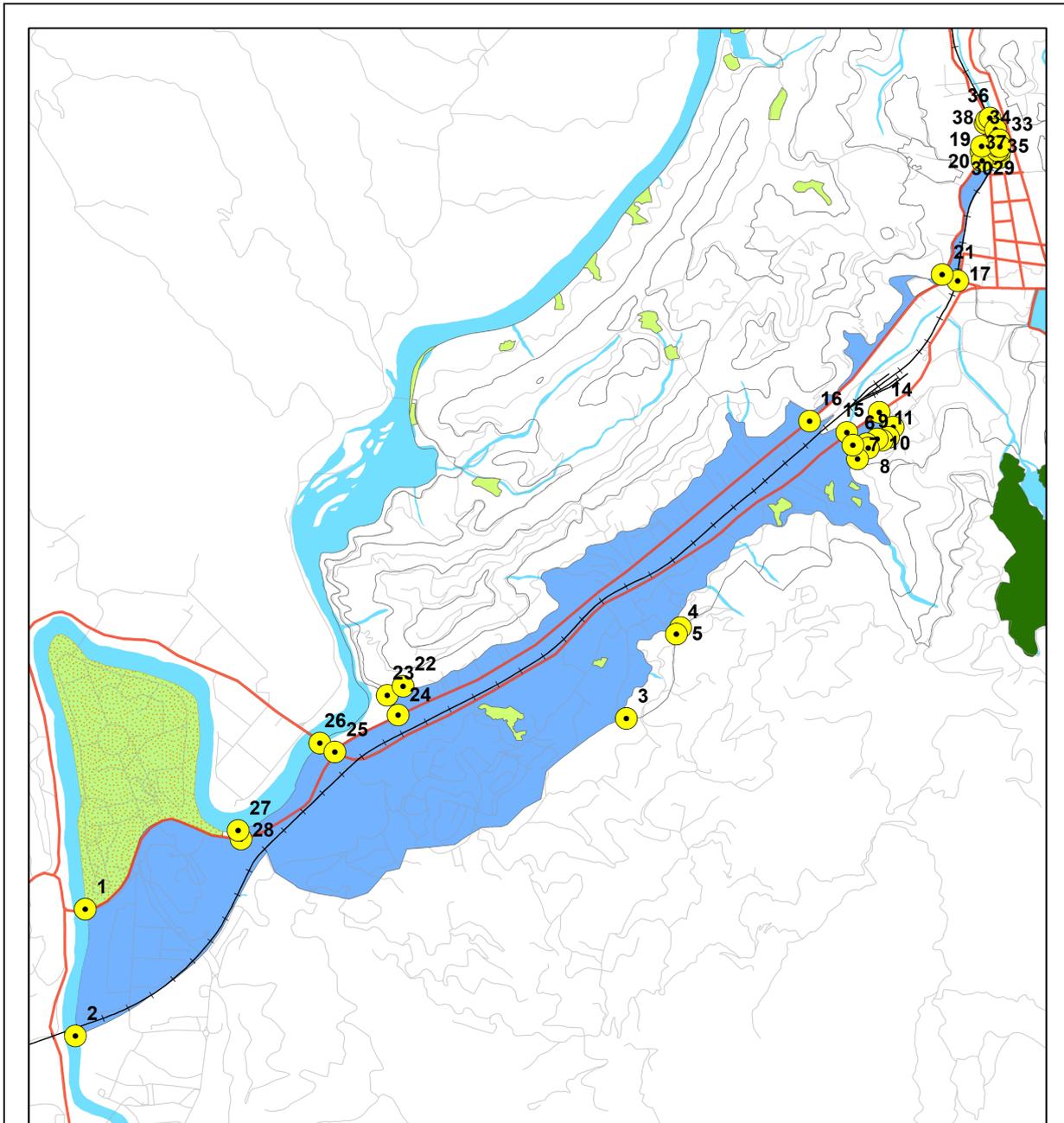
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233	80.605137	7.279917
234	80.605099	7.280069
235	80.604994	7.280248
236	80.604989	7.280319
237	80.605025	7.280427
238	80.605121	7.280466

239	80.60567	7.280425
240	80.605801	7.280464
241	80.606024	7.280605
242	80.606133	7.280742
243	80.606213	7.280806
244	80.606436	7.280932
245	80.606437	7.281067
246	80.606316	7.281373
247	80.606314	7.281447
248	80.606407	7.281499
249	80.607184	7.281545
250	80.607994	7.281729
251	80.608064	7.281787
252	80.608088	7.281895
253	80.60804	7.281981
254	80.607867	7.282104
255	80.60778	7.282174
256	80.607757	7.282232
257	80.607764	7.28238
258	80.607905	7.282757
259	80.608013	7.282866
260	80.608057	7.282952
261	80.608095	7.283194
262	80.608158	7.283368
263	80.608263	7.283487
264	80.608494	7.283601
265	80.608695	7.28362
266	80.609011	7.28342
267	80.609175	7.28334
268	80.609351	7.283293
269	80.609429	7.28334
270	80.609494	7.283584

271	80.609546	7.283654
272	80.609673	7.283703
273	80.609889	7.283807
274	80.609976	7.283904
275	80.610299	7.284339
276	80.610396	7.284377
277	80.610499	7.284364
278	80.610801	7.284257
279	80.610918	7.284243
280	80.611006	7.284254
281	80.611233	7.284404
282	80.611346	7.284642
283	80.611279	7.2847
284	80.610972	7.284819
285	80.610951	7.284881
286	80.610999	7.285149
287	80.610927	7.285194
288	80.610553	7.285301
289	80.61041	7.285458
290	80.610087	7.285926
291	80.610022	7.285977
292	80.60987	7.286033
293	80.609656	7.286154
294	80.609415	7.286486
295	80.609191	7.287198
296	80.609244	7.287852
297	80.609244	7.287854
298	80.608925	7.287906
299	80.626136	7.320309
300	80.627962	7.319233
301	80.628253	7.318971
302	80.628372	7.318656

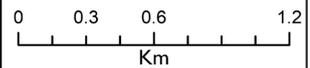
303	80.628512	7.318562
304	80.6288	7.318056
305	80.628545	7.317773
306	80.628566	7.317715
307	80.628804	7.317568
308	80.62935	7.316567
309	80.629416	7.316298
310	80.629479	7.316106
311	80.62963	7.315774
312	80.629641	7.315679
313	80.629608	7.31546
314	80.629977	7.314686
315	80.630091	7.314581
316	80.63026	7.314486
317	80.630355	7.314443
318	80.630637	7.314256
319	80.630696	7.314255
320	80.630786	7.314266

### Annexure 34: Commercial Zone I boundary



**Geo-Coordinate:**

Geographic Coordinate System: GCS\_WGS\_1984  
 Datum: D\_WGS\_1984  
 Prime Meridian: Greenwich  
 Angular Unit: Degree



### Commercial Zone I Boundary with Geo Coordinate points

Kandy Municipal Council Area Development Plan 2021-2030

Source: Central Province Office  
 Urban Development Authority

Prepared by: N.H.D Wijethunga

Prepared Date: 27/10/2020



Urban Development Authority

## Commercial Zone I boundary

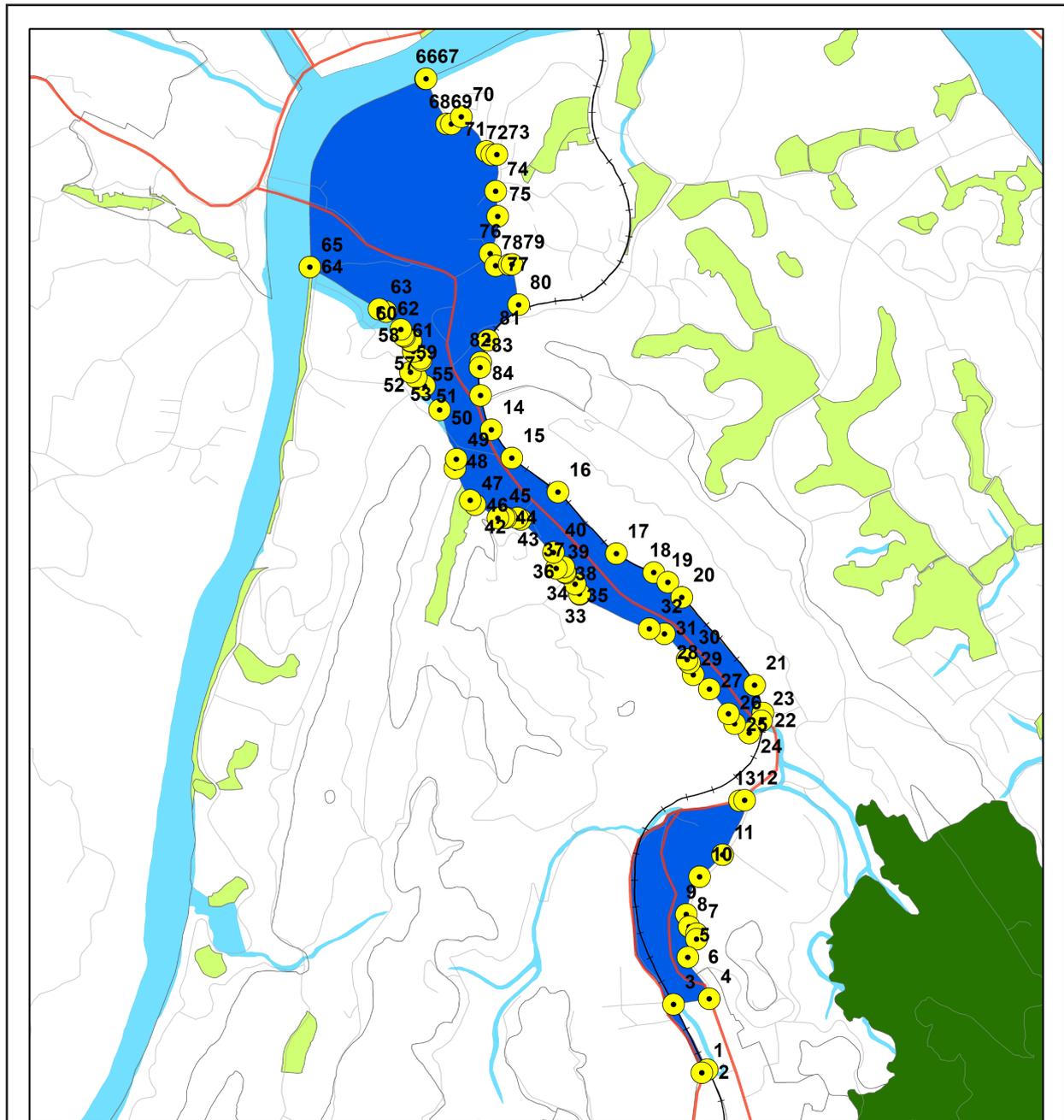
The area bounded by the Geographic Coordinate number 01 up to point number 02 which is bordering to Southern direction to Mahaweli River and there onwards from Geographic Coordinate point number 02 to along the Southern boundary of Kandy Municipal Council limit up to Geographic Coordinate point 03 there onwards along the 500 meter contour line up to Geographic Coordinate point number 04 and there onwards along the southern boundary of Kandy Municipal Council up to Geographic Coordinate point no 05 there onwards along the 500 meter contour line up to Geographic Coordinate point no 06 there onwards bordering to Geographic Coordinate point number 07,08,09,10,11,12 and 13 there onwards the Geographic Coordinate point number 14 located in William Gopallawa Mw there onwards along the William Gopallawa Mw turning from Geographic Coordinate point no 15 along he Sambodhi Mw up to Geographic Coordinate point number 16 located in Peradeniya Road there onwards along the Peradeniya road up to railway tunnel located adjacent to Kandy clock tower(Geographic Coordinate point no 17) There onwards along the railway line up to Geographic Coordinate point no 18 there onwards along the Geographic Coordinate point no 19 up to Geographic Coordinate no 20 located on Thilak Rathnayake Mw there onwards along the Thilak Rathnayake Mw up to Geographic Coordinate point no 21 located on it there onwards along the 500 meters contour line up to Geographic Coordinate point number 22 and there onwards along the Geographic Coordinate point no 23 up to Geographic Coordinate point number 24 located on Peradeniya road there onwards along the Peradeniya road up to Geographic coordinate point number 25 there onwards along the Gannoruwa road up to Geographic Coordinate point number 26 there onwards up to Geographic Coordinate point number 27 which is bordering to Mahaweli river there onwards up to Geographic Coordinate point number 28 located on Peradeniya road there onwards along the Peradeniya road up to Geographic coordinate point number 01 located in Peradeniya bridge and the area bounded by Geographic Coordinate point numbers 29, 30, 31, 32, 33, 34, 35, 36, 37, and 38.

Geo Coordinate point	X Coordinate	Y Coordinate
1	80.593964	7.264213
2	80.593518	7.258322
3	80.618904	7.27307
4	80.621209	7.276981
5	80.621396	7.277284
6	80.629344	7.285763

7	80.629562	7.285117
8	80.630051	7.285631
9	80.629975	7.285824
10	80.630468	7.286047
11	80.630693	7.285986
12	80.63098	7.286123
13	80.631199	7.2866
14	80.63056	7.287286

15	80.629063	7.286354
16	80.627353	7.286871
17	80.634174	7.293388
18	80.636074	7.299112
19	80.635302	7.298967
20	80.635254	7.299401
21	80.633458	7.293683
22	80.608617	7.274562
23	80.607889	7.274139
24	80.608384	7.273229
25	80.605473	7.271508
26	80.60478	7.271926
27	80.601012	7.267868
28	80.601149	7.267469
29	80.635278	7.299642
30	80.636017	7.299635
31	80.636017	7.299439
32	80.636123	7.299438
33	80.63612	7.299629
34	80.636084	7.299941
35	80.635924	7.300417
36	80.635649	7.300954
37	80.6355	7.300852
38	80.635444	7.300704

### Annexure 35: Commercial Zone II boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984          Datum: D_WGS_1984          Prime Meridian: Greenwich          Angular Unit: Degree</p>	
<p><b>Commercial Zone II Boundary with Geo Coordinate points</b></p>	
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>	
<p style="text-align: center;"> Urban Development Authority</p>	

Source: Central Province Office  
Urban Development Authority

Prepared by: N.H.D Wijethunga

Prepared Date: 27/10/2020

## Commercial Zone II boundary

The area bounded by the Geographic Coordinate point no. 01 which is located in the Mahaiyyawa - Katugasthota road up to bordering Geographic Coordinate point nos. of 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13 again up to no. 01 Geographic coordinate point and the area comprises up to Geographic coordinate point no 14 bordering to north side of the Mahaweli river up to Geographic coordinate point no. 66, Theron wards up to Geographic coordinate point no 67 to 84, Theron wards up to no. 14 Geographic coordinate point.

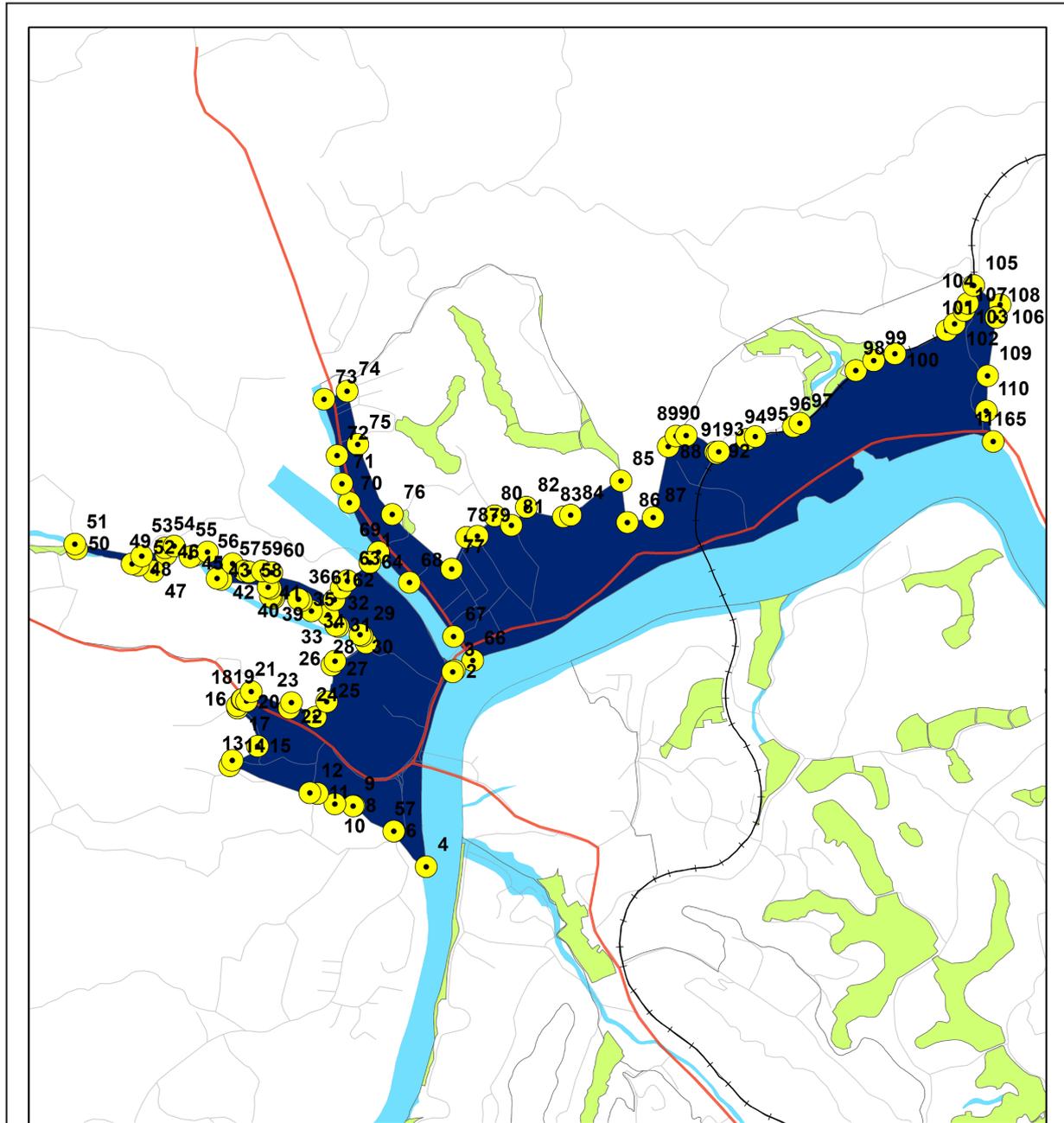
Geo Coordinate point	X Coordinate	Y Coordinate
1	80.635522	7.300877
2	80.635649	7.300954
3	80.634842	7.302526
4	80.635698	7.302662
5	80.635183	7.303663
6	80.635395	7.3041
7	80.635394	7.304232
8	80.635216	7.304402
9	80.635148	7.304696
10	80.635467	7.305606
11	80.636019	7.306136
12	80.636546	7.307451
13	80.636424	7.30744
14	80.630481	7.316388
15	80.630971	7.315707
16	80.632074	7.314883
17	80.633473	7.313401
18	80.634372	7.312945
19	80.634706	7.312709
20	80.635042	7.312344
21	80.636783	7.310226
22	80.636986	7.309558
23	80.636949	7.309366

24	80.636654	7.30907
25	80.636306	7.309295
26	80.636159	7.309535
27	80.635701	7.310131
28	80.635315	7.310478
29	80.635221	7.310765
30	80.635169	7.310844
31	80.634625	7.311464
32	80.634265	7.311587
33	80.6326	7.312414
34	80.63259	7.312428
35	80.632488	7.312663
36	80.632262	7.312931
37	80.632244	7.312953
38	80.632216	7.313073
39	80.632037	7.31304
40	80.631971	7.313429
41	80.631184	7.31422
42	80.631106	7.314257
43	80.630832	7.314263
44	80.630786	7.314266
45	80.630637	7.314256
46	80.630091	7.314581
47	80.629977	7.314686
48	80.629608	7.31546

49	80.629641	7.315679
50	80.629242	7.316865
51	80.628883	7.317443
52	80.628681	7.317652
53	80.628545	7.317773
54	80.6288	7.318056
55	80.628785	7.318103
56	80.628616	7.318275
57	80.628558	7.318514
58	80.628553	7.31853
59	80.6284	7.318631
60	80.628372	7.318656
61	80.628316	7.318807
62	80.627962	7.319233
63	80.627795	7.319294
64	80.626138	7.320308
65	80.626136	7.320309
66	80.628908	7.324848
67	80.62892	7.324853
68	80.629414	7.323762
69	80.629521	7.323762
70	80.629762	7.323937
71	80.630364	7.323099
72	80.630489	7.323018
73	80.630612	7.323024
74	80.630584	7.322138
75	80.630635	7.321534
76	80.630452	7.320635
77	80.630586	7.320341
78	80.630908	7.320366
79	80.630973	7.320376
80	80.631135	7.319403

81	80.630404	7.318546
82	80.630225	7.318014
83	80.63021	7.317888
84	80.630224	7.317213

### Annexure 36: Commercial Zone III boundary



<p><b>Geo-Coordinate:</b></p> <p>Geographic Coordinate System: GCS_WGS_1984          Datum: D_WGS_1984          Prime Meridian: Greenwich          Angular Unit: Degree</p>	
<p><b>Commercial Zone III Boundary with Geo Coordinate points</b></p>	<p>Source: Central Province Office Urban Development Authority</p>
<p>Kandy Municipal Council Area Development Plan 2021-2030</p>	<p>Prepared by: N.H.D Wijethunga</p>
	<p>Prepared Date: 27/10/2020</p>

### Commercial Zone III boundary

The area bounded by the Geographic coordinate point no 01 which is bordering to the north boundary of Pinga oya up to Geographic coordinate point no 02 which is bordering to the Pinga oya, Theron wards along the no. 03 Geographic coordinate point boarding to the Mahaweli river up to Geographic coordinate point no. 04, Theron wards from 5 to 64 Geographic coordinate point again up to Geographic coordinate point no. 01 and the area comprises with the Geographic coordinate point no. 65 which is bounded to the Southern and eastern direction of Mahaweli river up to Geographic coordinate point no. 66 which is bounded by the southern direction of Mahaweli River, Theron wards along the Geographic coordinate point no. 67 to 111 again up to Geographic coordinated point no. 65.

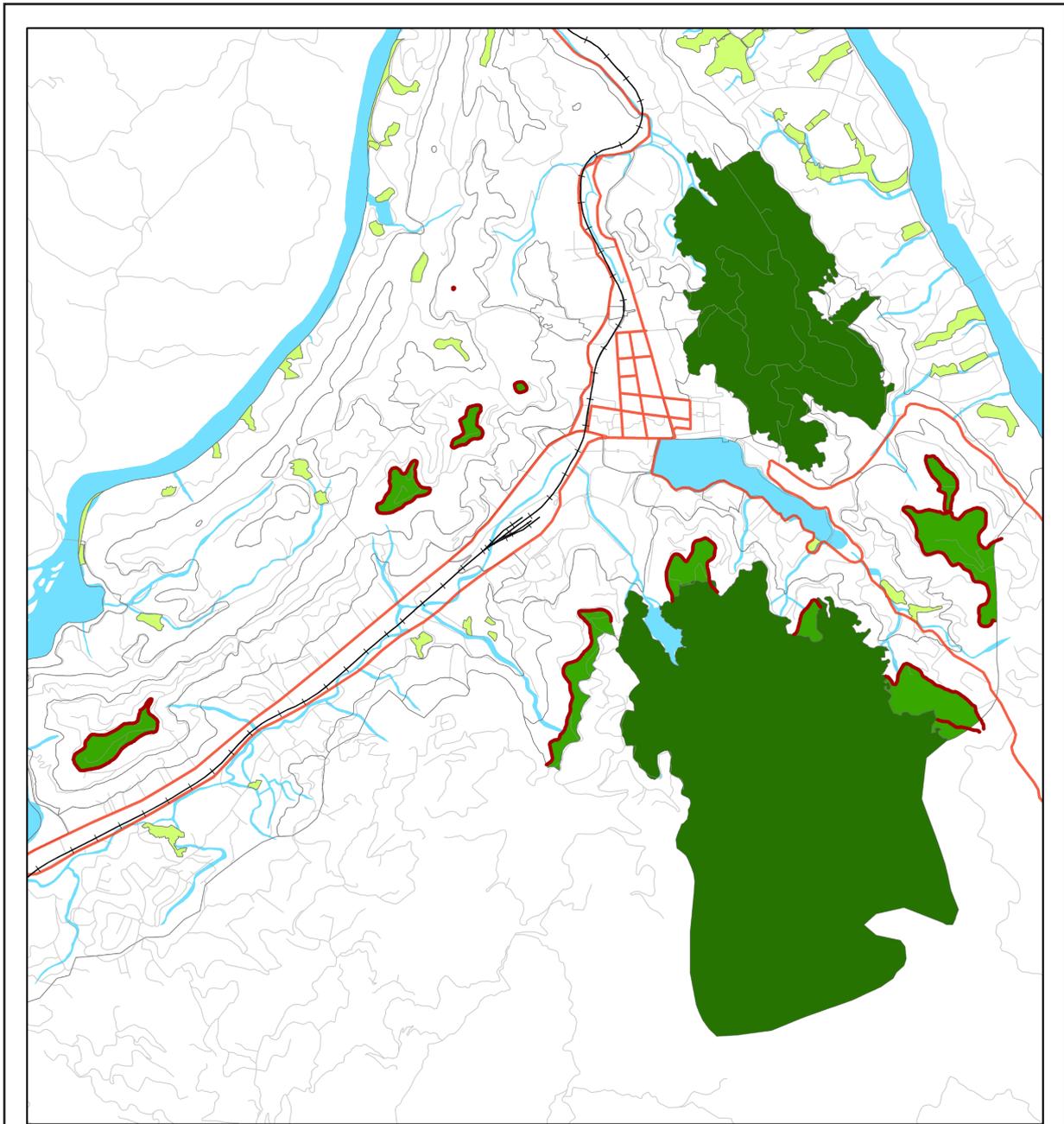
Geo Coordinate point	X Coordinate	Y Coordinate
1	80.623774	7.327399
2	80.625945	7.32461
3	80.625897	7.324572
4	80.625219	7.319539
5	80.624403	7.320459
6	80.624403	7.320459
7	80.624387	7.320459
8	80.623373	7.321113
9	80.623343	7.321109
10	80.622877	7.321161
11	80.62243	7.321432
12	80.622235	7.321446
13	80.620181	7.322145
14	80.620247	7.322288
15	80.620898	7.322656
16	80.620385	7.323637
17	80.620375	7.323699
18	80.620495	7.323857
19	80.620514	7.323867
20	80.620615	7.323821
21	80.620734	7.324065

22	80.621705	7.323637
23	80.621762	7.323781
24	80.622382	7.323407
25	80.622671	7.323805
26	80.622802	7.324747
27	80.62288	7.324852
28	80.623676	7.325322
29	80.623573	7.325502
30	80.623523	7.325537
31	80.622962	7.325741
32	80.622905	7.325768
33	80.622703	7.32605
34	80.622277	7.326145
35	80.62202	7.326411
36	80.621946	7.326449
37	80.621303	7.326473
38	80.621256	7.326494
39	80.621229	7.326526
40	80.621229	7.326724
41	80.621167	7.32676
42	80.619969	7.326958
43	80.619859	7.326987
44	80.61926	7.327577

45	80.619169	7.327543
46	80.618551	7.327605
47	80.618225	7.327169
48	80.617841	7.327323
49	80.617679	7.327362
50	80.61626	7.327749
51	80.616214	7.327871
52	80.617927	7.327564
53	80.618523	7.327776
54	80.618757	7.327823
55	80.619613	7.327669
56	80.620255	7.327367
57	80.620554	7.327178
58	80.620676	7.327153
59	80.621017	7.327178
60	80.621258	7.327139
61	80.622862	7.326433
62	80.623039	7.326743
63	80.623196	7.326928
64	80.623774	7.327399
65	80.63975	7.330525
66	80.62641	7.324867
67	80.625922	7.325485
68	80.62479	7.326883
69	80.623993	7.327665
70	80.623248	7.328948
71	80.623058	7.329432
72	80.622933	7.330161
73	80.622599	7.331614
74	80.623192	7.331824
75	80.623462	7.33045
76	80.624348	7.328641
77	80.625871	7.327233
78	80.626252	7.328051

79	80.626532	7.328079
80	80.626973	7.328606
81	80.627401	7.328359
82	80.627785	7.328829
83	80.628734	7.32858
84	80.628922	7.328624
85	80.63021	7.329508
86	80.630374	7.328434
87	80.631039	7.328561
88	80.631424	7.330395
89	80.631622	7.330667
90	80.631882	7.330679
91	80.632629	7.33025
92	80.63267	7.330218
93	80.632718	7.33026
94	80.633437	7.330583
95	80.633652	7.330651
96	80.63463	7.330912
97	80.634798	7.330995
98	80.636229	7.332359
99	80.636689	7.332613
100	80.637234	7.332792
101	80.638557	7.333395
102	80.63876	7.333563
103	80.639005	7.333908
104	80.639095	7.33409
105	80.63925	7.334554
106	80.639926	7.334057
107	80.63983	7.333738
108	80.639825	7.333727
109	80.639607	7.332221
110	80.639575	7.331311
111	80.63975	7.330525

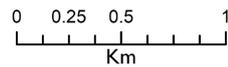
### Annexure 37: Environment Zone I boundary



**Geo-Coordinate:**

Geographic Coordinate System: GCS\_WGS\_1984  
Datum: D\_WGS\_1984  
Prime Meridian: Greenwich  
Angular Unit: Degree

— 607.5 m  
Contour Line



**Environment Zone I Boundary with  
Geo Coordinate points**

Kandy Municipal Council Area Development Plan 2021-2030



Source: Central Province Office  
Urban Development Authority

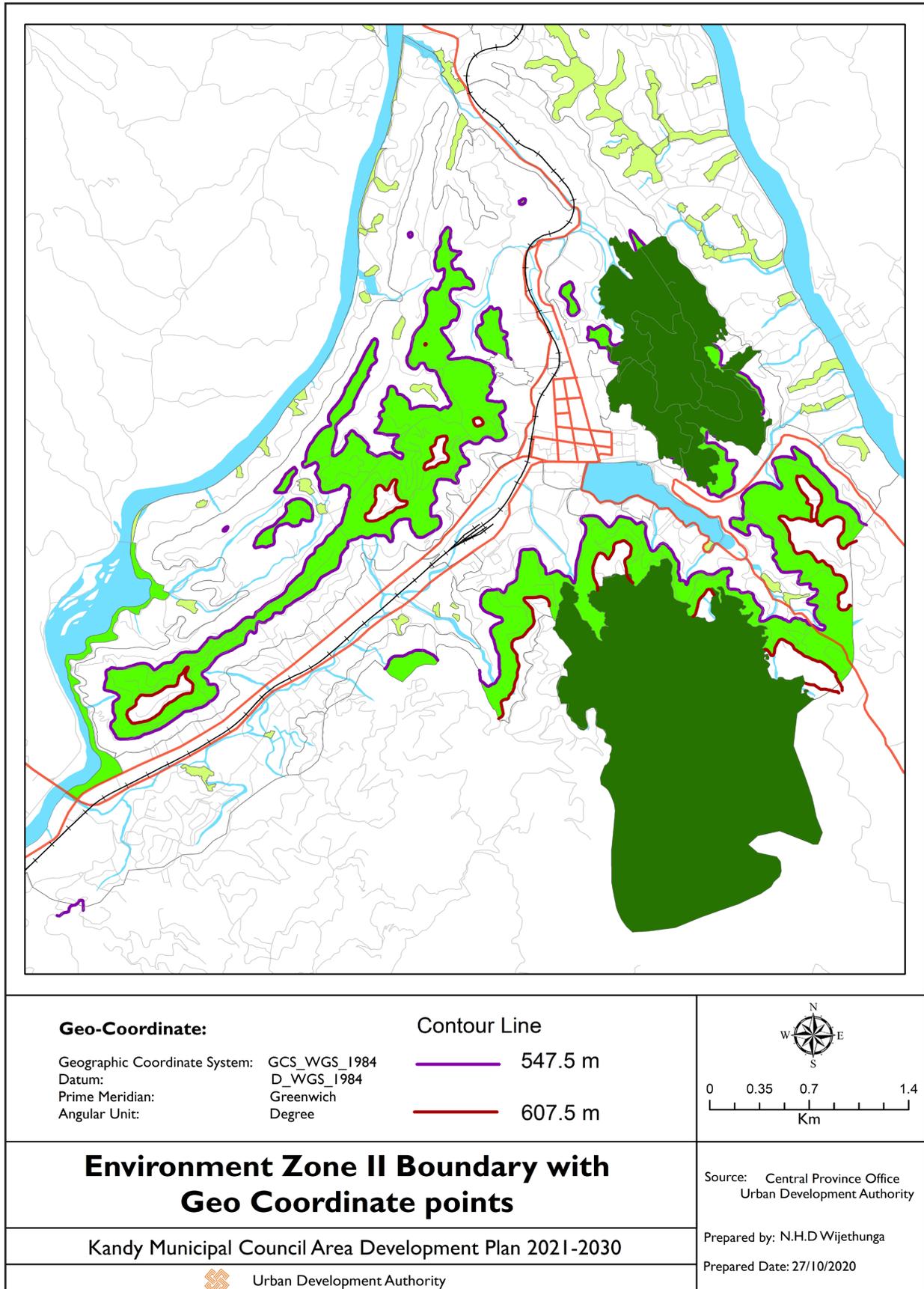
Prepared by: N.H.D Wijethunga

Prepared Date: 27/10/2020

### **Environment Zone I boundary**

The areas above the 607.5-meter contour line of Kandy municipal council area is belongs to this zone.

### Annexure 38: Environment Zone II boundary



## **Environment Zone II boundary**

The area in-between 547.5-meter contour line and 607.5-meter contour line of Kandy Municipal Council area belong to this zone.





Katugasthota Com de

Prop ma

Eriyagama and Gannoruwa centralized administrative and higher education facilities providing area

Development of Eriyagama as Educational, higher educational and research oriented town center

Replacement of private medical centers at Iriyagama town

Peradeniya Cluster Parking place

Proposed New Peradeniya vehicular Bridge

